

### LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT BOUNDARY
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE
	CURB LINE		EXISTING BUILDING LINE
	MUNICIPAL BOUNDARY		EXISTING CURB LINE
	GRAVEL DRIVEWAY LINE		EXISTING EDGE OF PAVEMENT LINE
	EASEMENT LINE		LIMIT OF ACEW WETLAND
	BUILDING SETBACK LINES		EXISTING CHAINLINK FENCE LINES
	GUDERAIL LINES		EXISTING STOCKADE FENCE LINES
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES
	PARKING STALL STRIPE		
	PARKING PAVEMENT SECTION		
	EDGE OF SIDEWALK LINES		
	LIMIT OF WETLAND MITIGATION LINE		
	PROPERTY LINE		
	STRIPING LINE		

### BULK REQUIREMENTS

VILLAGE OF MONTGOMERY - ZONING DISTRICT I-1 & I-2  
PROPOSED USE: WAREHOUSE / OFFICE

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	40,000 SF	± 1,475,494 SF
LOT WIDTH	150 FEET	869.1 FEET
FRONT YARD ABUTTING RESIDENTIAL *	120 FEET	329.2 FEET
REAR YARD	50 FEET	99.1 FEET
SIDE YARD (ONE / BOTH)	30 / 60 FEET	86.0 / 419.5 FEET
SIDE YARD ABUTTING RESIDENTIAL *	100 FEET	333.5 FEET

MAXIMUM ALLOWABLE	
BUILDING HEIGHT	35 FT 45 FT **
LOT COVERAGE (BUILDINGS)	30 % 19.0 %

NOTES  
 \* BUILDING SETBACKS FROM RESIDENTIALLY ZONED PROPERTIES IS INCREASED BY 70'  
 \*\* VARIANCE REQUIRED FOR MAXIMUM BUILDING HEIGHT

### PARKING CALCULATIONS

CAR PARKING SPACE REQUIREMENTS:  
 REQUIRED: WAREHOUSE: 1 SPACE PER 2,000 SQ. FT. OF FLOOR AREA  
 OFFICE: 1 SPACE PER 200 SQ. FT. OF FLOOR AREA

PARKING CALCULATIONS FOR WAREHOUSE USE  
 TOTAL WAREHOUSE FLOOR AREA: 268,000 SQ. FT.  
 268,000 SQ. FT. X (1/2000) = 134 SPACES

PARKING CALCULATIONS FOR OFFICE USE  
 TOTAL OFFICE FLOOR AREA: 12,000 SQ. FT.  
 12,000 SQ. FT. X (1/200) = 60 SPACES

COMBINED PARKING REQUIREMENTS  
 TOTAL SPACES REQUIRED FOR SITE: 134 + 60 = 194 SPACES  
 TOTAL SPACES PROVIDED: 266 SPACES

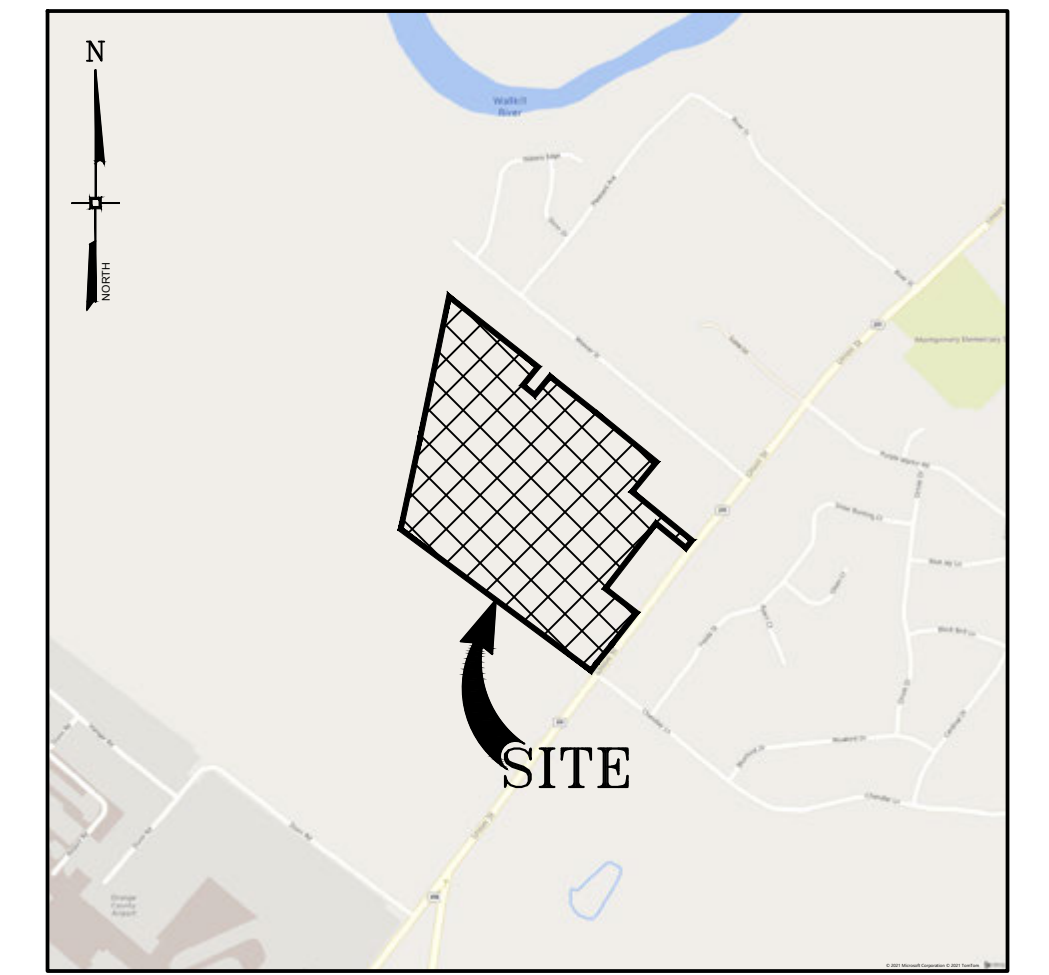
TRUCK LOADING SPACE REQUIREMENTS:  
 REQUIRED: 2 SPACES FOR THE FIRST 40,000 SQ. FT. AND 1 ADDITIONAL SPACE PER EACH ADDITIONAL 40,000 SQ. FT. OF FLOOR AREA

BUILDING 1: 60,000 SQ. FT.  
 (40,000 SQ. FT. X (1/40000)) + (20,000 SQ. FT. X (1/40000)) = 2.5 SPACES  
 TRUCK SPACES REQUIRED: 3  
 TRUCK SPACES PROVIDED: 25

BUILDING 2: 60,000 SQ. FT.  
 (40,000 SQ. FT. X (1/40000)) + (20,000 SQ. FT. X (1/40000)) = 2.5 SPACES  
 TRUCK SPACES REQUIRED: 3  
 TRUCK SPACES PROVIDED: 25

BUILDING 3: 80,000 SQ. FT.  
 (40,000 SQ. FT. X (1/40000)) + (40,000 SQ. FT. X (1/40000)) = 3 SPACES  
 TRUCK SPACES REQUIRED: 3  
 TRUCK SPACES PROVIDED: 26

BUILDING 4: 80,000 SQ. FT.  
 (40,000 SQ. FT. X (1/40000)) + (40,000 SQ. FT. X (1/40000)) = 3 SPACES  
 TRUCK SPACES REQUIRED: 3  
 TRUCK SPACES PROVIDED: 26



**LOCATION MAP**  
SCALE: 1" = 1000'

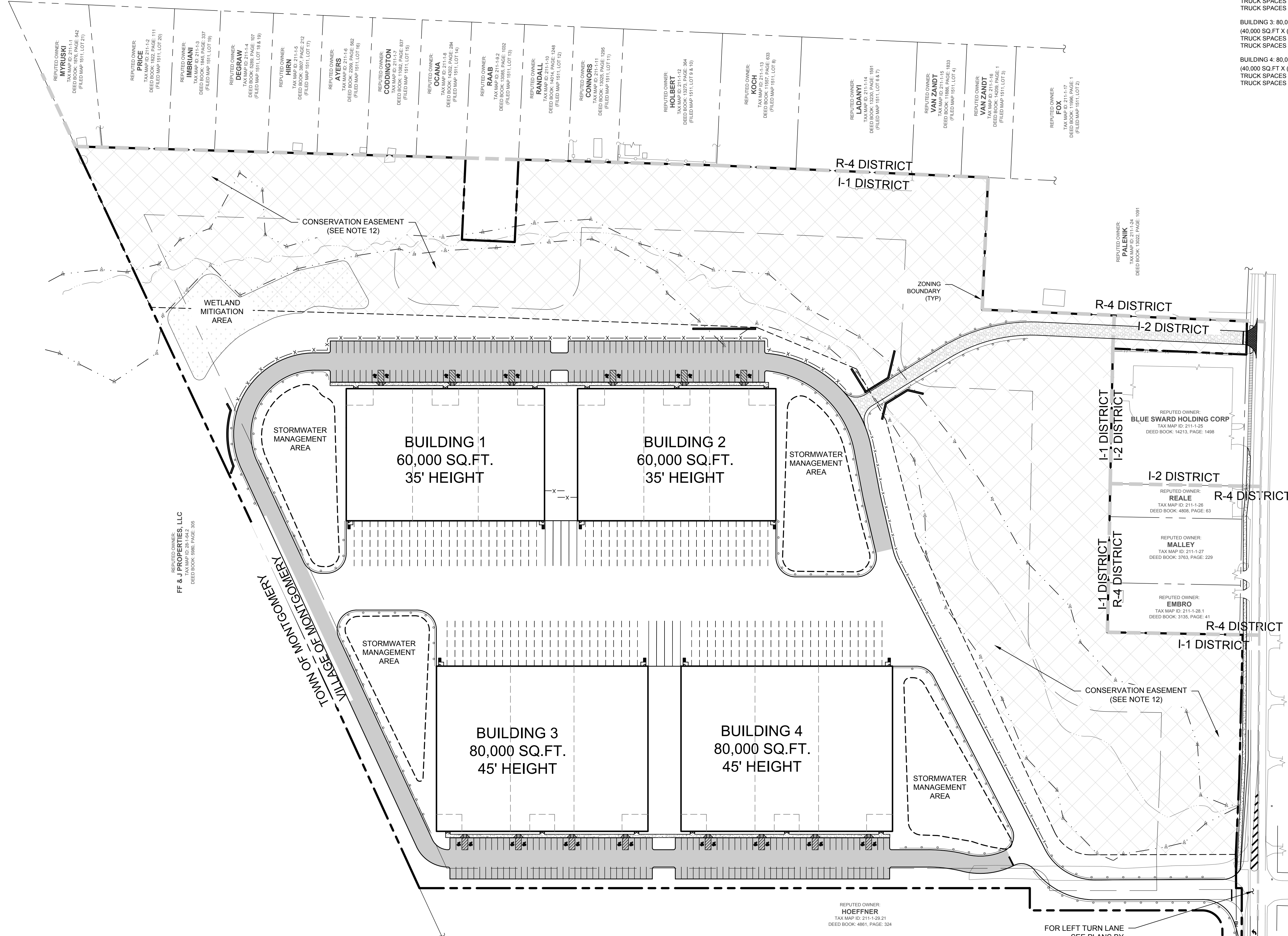
### LIST OF DRAWINGS

DRAWING#	TITLE	SHEET#
O-100	OVERALL PLAN	1
C-101	SITE PLAN	2
C-102	SITE PLAN	3
C-103	GRADING, DRAINAGE & UTILITY PLAN	4
C-104	GRADING, DRAINAGE & UTILITY PLAN	5
C-105	PHASING PLAN	6
C-106	EROSION & SEDIMENT CONTROL PLAN	7
C-107	EROSION & SEDIMENT CONTROL PLAN	8
C-108	LIGHTING PLAN	9
C-109	LIGHTING PLAN	10
C-110	LANDSCAPE PLAN AND DETAILS	11
C-111	LANDSCAPE PLAN AND DETAILS	12
C-301	DETAILS	13
C-302	DETAILS	14
C-303	DETAILS	15
C-304	DETAILS	16



### GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 211, BLOCK 1, LOT 29-22
- TOTAL AREA OF SUBJECT PARCEL: ± 33.87 ACRES.
- BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON A SURVEY DATED OCTOBER 10, 2018 AS PREPARED BY ENGINEERING & SURVEYING PROPERTIES, P.C.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES, P.C. FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER/APPLICANT: ROUTE 211 OWNER, LLC  
286 BROADWAY, SUITE 403  
BROOKLYN, NEW YORK 11211
- WETLAND FLAGS AND BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD EVALUATION PERFORMED BY PETER TORSBERG ON OCTOBER 10, 2018, AND GPS LOCATED BY ENGINEERING & SURVEYING PROPERTIES, P.C. ON OCTOBER 18, 2018.
- WETLAND DISTURBANCE AREA SHOWN WERE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION AND PROJECT PLAN" BY ENVIRONMENTAL COMPLIANCE SERVICES, INC. DATED SEPTEMBER 8, 2005.
- EXISTING ACEW WETLAND DISTURBANCE: ±0.898 ACRES  
PROPOSED ACEW WETLAND DISTURBANCE: ±0.120 ACRES  
TEMPORARY ACEW WETLAND DISTURBANCE: ±0.032 ACRES  
TOTAL ACEW WETLAND DISTURBANCE: ±0.238 ACRES
- THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS THEREFORE CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- THE OWNER WILL NOTIFY THE NEIGHBOR OF THE ENCROACHMENTS ON THE PROPERTY. NO ACTION WILL BE TAKEN UNLESS WRITTEN NOTICE IS PROVIDED BY THE OWNER.
- FOR ALL WORK WITHIN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SEE PLANS BY CREIGHTON MANNING ENGINEERING LLC.
- CONSERVATION EASEMENT TO BE GRANTED TO THE VILLAGE OF MONTGOMERY.
- PRIOR TO CONSTRUCTION THE WETLAND BOUNDARIES IN THE VICINITY OF ANY PROPOSED WORK SHALL BE CLEARLY MARKED IN THE FIELD WITH ORANGE CONSTRUCTION FENCING TO AVOID UNNECESSARY DISTURBANCES.
- NO OPEN STORAGE IS ALLOWED. ALL ITEMS AND MATERIALS SHALL BE STORED COMPLETELY WITHIN THE CONFINES OF THE WAREHOUSE BUILDINGS.
- STORAGE OF TOXIC, EXPLOSIVE, FLAMMABLE OR OTHERWISE DANGEROUS AND NOXIOUS MATERIALS THAT ARE INCOMPATIBLE WITH THE PUBLIC HEALTH AND SAFETY OR THAT MAY POSE A RISK TO GROUNDWATER OR OTHER CONTAMINATION SHALL BE PROHIBITED.
- TOTAL DISTURBANCE AREA: ±21.23 ACRES
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO A KNOWN INDIANA BAT AND NORTHERN LONG-EARED BAT HABITAT. ANY TREE CUTTING OR REMOVAL SHALL OCCUR WITHIN THE APPROPRIATE TIME OF YEAR WORK WINDOW, OCTOBER 1ST THROUGH MARCH 31ST, TO AVOID DIRECT IMPACTS TO INDIVIDUALS AND THE NEED FOR AN ARTICLE 11 TAKE PERMIT.
- A FOUR (4) FOOT HIGH SOLID BATTLE SHALL SURROUND ALL HVAC EQUIPMENT TO PROVIDE SOUND ATTENUATION AND HVAC EQUIPMENT SHALL FACE AWAY FROM THE EXISTING RESIDENCES ON WEAVER STREET.
- AS PERMITTED BY OSHA, ALL ON-SITE EQUIPMENT SHALL BE EQUIPPED WITH "WHITE NOISE" ALARMS IN LIEU OF TONAL ALARMS.
- THE VILLAGE OF MONTGOMERY SHALL BE PERMITTED TO ENFORCE IDLING RESTRICTIONS PER STATE REQUIREMENTS.
- ANY BACKUP GENERATORS ON SITE SHALL BE TESTED ONLY DURING DAYTIME HOURS.
- THERE SHALL BE NO PARKING OF TRUCKS OUTSIDE THE TRUCK LOADING/PARKING AREA BETWEEN THE BUILDINGS.



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6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
		06/16/2023
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		
CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1	OF 16
OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
NYSDEC APPROVAL	N/A	OF N/A
NYS DOT APPROVAL	N/A	OF N/A
OTHER	N/A	OF N/A
FOR BID	N/A	OF N/A
FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 071701

1 inch = 60 ft.

**ENGINEERING & SURVEYING PROPERTIES, INC.**  
Achieving Successful Results with Innovative Designs

MONTGOMERY OFFICE  
71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
WWW.EP-PC.COM

**OVERALL PLAN**

KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

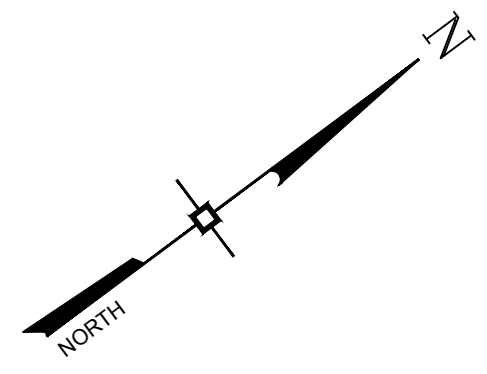
JOB #: 1281.01 DRAWN BY: ZS  
DATE: 12/10/2021 SCALE: 1" = 60'  
REVISION: 9 - 06/16/2023 TAX LOT: 211-1-29-22

**O-100**

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**LEGEND**

	BUILDING LINE		STORM WATER MANAGEMENT LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
	CURB LINE		EXISTING BUILDING LINE		
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE		
	EASEMENT LINE		EXISTING EDGE OF PAVEMENT LINE		
	BUILDING SETBACK LINES		LIMIT OF ACOE WETLAND		
	GUIDESAIL LINES		EXISTING CHAINLINK FENCE LINES		
	RETAINING WALL LINES		EXISTING STOCKADE FENCE LINES		
	PARKING STALL STRIPE		EXISTING WOODRAIL FENCE LINES		
	PARKING PAVEMENT SECTION		EXISTING MOW LINE		
	EDGE OF SIDEWALK LINES		EXISTING OVERHEAD UTILITY LINES		
	LIMIT OF WETLAND MITIGATION LINE				
	PROPERTY LINE				
	STRIPING LINE				



REPUTED OWNER:  
**FF & J PROPERTIES, LLC**  
TAX MAP ID: 28-1-64.2  
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:  
**MYRUSKI**  
TAX MAP ID: 211-1-1  
DEED BOOK: 1876, PAGE: 542  
(FILED MAP 1511, LOT 21)

REPUTED OWNER:  
**PRICE**  
TAX MAP ID: 211-1-2  
DEED BOOK: 1822, PAGE: 111  
(FILED MAP 1511, LOT 20)

REPUTED OWNER:  
**IMBRIANI**  
TAX MAP ID: 211-1-3  
DEED BOOK: 1845, PAGE: 337  
(FILED MAP 1511, LOT 19)

REPUTED OWNER:  
**DEGRAW**  
TAX MAP ID: 211-1-4  
DEED BOOK: 5289, PAGE: 107  
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:  
**HIRN**  
TAX MAP ID: 211-1-5  
DEED BOOK: 3807, PAGE: 212  
(FILED MAP 1511, LOT 17)

REPUTED OWNER:  
**AYERS**  
TAX MAP ID: 211-1-6  
DEED BOOK: 2299, PAGE: 562  
(FILED MAP 1511, LOT 16)

REPUTED OWNER:  
**CODDINGTON**  
TAX MAP ID: 211-1-7  
DEED BOOK: 11082, PAGE: 837  
(FILED MAP 1511, LOT 15)

REPUTED OWNER:  
**OCANA**  
TAX MAP ID: 211-1-8  
DEED BOOK: 14302, PAGE: 284  
(FILED MAP 1511, LOT 14)

REPUTED OWNER:  
**RAAB**  
TAX MAP ID: 211-1-9.2  
DEED BOOK: 13085, PAGE: 1032  
(FILED MAP 1511, LOT 13)

REPUTED OWNER:  
**RANDALL**  
TAX MAP ID: 211-1-10  
DEED BOOK: 14014, PAGE: 1248  
(FILED MAP 1511, LOT 12)

REPUTED OWNER:  
**CONNORS**  
TAX MAP ID: 211-1-11  
DEED BOOK: 13025, PAGE: 1295  
(FILED MAP 1511, LOT 11)

REPUTED OWNER:  
**HOLBERT**  
TAX MAP ID: 211-1-12  
DEED BOOK: 13273, PAGE: 364  
(FILED MAP 1511, LOT 9 & 10)

**NOTES:**

- A GENERIC DETAIL IS PROVIDED ON SHEET C-104 FOR THE PLYWALL SOUND BARRIER FENCE. THE DESIGN SHALL BE PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING INSPECTOR FOR A BUILDING PERMIT PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS OR SHOP DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER AND SHALL BE SPECIFIC TO THE SITE. THE DESIGN SHALL BE SPECIFIC TO THE SOUND BARRIER SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADING AND SITE CONDITIONS RELATED TO THIS SPECIFIC PROJECT.



- Call Before You Dig
  - Wait The Required Time
  - Confirm Utility Response
  - Respect The Marks
  - Dig With Care
- Dial: 811  
www.udig.ny.gov

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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2	OF 16
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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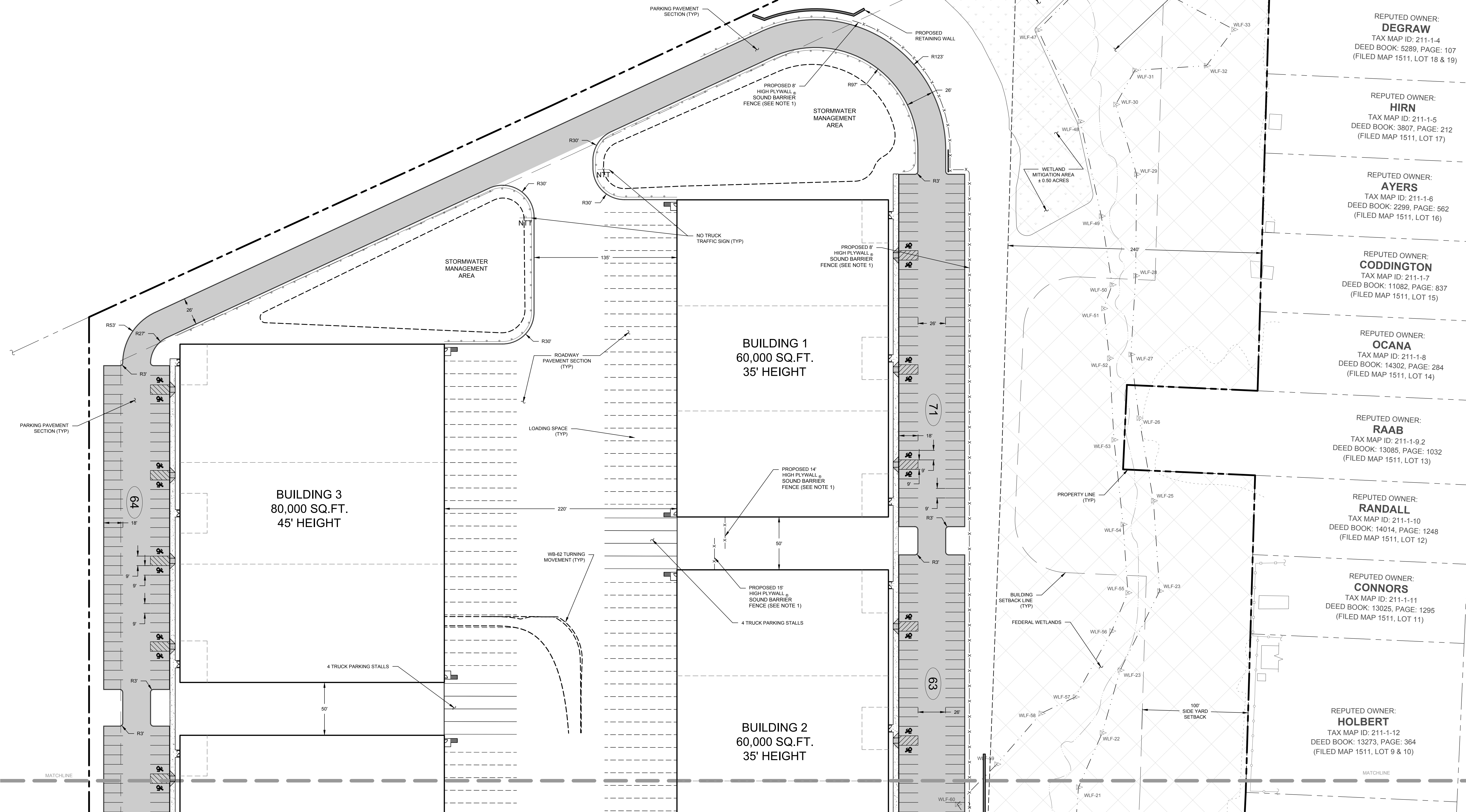
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**SITE PLAN**  
KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29.22

**C-101**



60,000 SQ.F.T.  
35' HEIGHT

BUILDING 4  
80,000 SQ.FT.  
45' HEIGHT

DEED BOOK: 13273, PAGE: 364  
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:  
**KOCH**  
TAX MAP ID: 211-1-13  
DEED BOOK: 11557, PAGE: 633  
(FILED MAP 1511, LOT 8)

REPUTED OWNER:  
**LADANYI**  
TAX MAP ID: 211-1-14  
DEED BOOK: 13230, PAGE: 1591  
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:  
**VAN ZANDT**  
TAX MAP ID: 211-1-15  
DEED BOOK: 11886, PAGE: 1833  
(FILED MAP 1511, LOT 4)

REPUTED OWNER:  
**VAN ZANDT**  
TAX MAP ID: 211-1-16  
DEED BOOK: 14209, PAGE: 1  
(FILED MAP 1511, LOT 3)

REPUTED OWNER:  
**FOX**  
TAX MAP ID: 211-1-17  
DEED BOOK: 11996, PAGE: 1  
(FILED MAP 1511, LOT 2)

REPUTED OWNER:  
**PALENIK**  
TAX MAP ID: 211-1-24  
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:  
**EMBR**  
TAX MAP ID: 211-1-28-1  
DEED BOOK: 3135, PAGE: 41

REPUTED OWNER:  
**MALLEY**  
TAX MAP ID: 211-1-27  
DEED BOOK: 3763, PAGE: 228

REPUTED OWNER:  
**REALE**  
TAX MAP ID: 211-1-26  
DEED BOOK: 4808, PAGE: 63

REPUTED OWNER:  
**BLUE SWARD HOLDING CORP**  
TAX MAP ID: 211-1-25  
DEED BOOK: 14213, PAGE: 1488

NOTES:

1. A GENERIC DETAIL IS PROVIDED ON SHEET C-304 FOR THE PLYWALL SOUND BARRIER FENCE. THE DESIGN SHALL BE PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING INSPECTOR FOR A BUILDING PERMIT PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS OR SHOP DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER AND SHALL BE SPECIFIC TO THE SITE. THE DESIGN SHALL BE SPECIFIC TO THE SOUND BARRIER SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADING AND SITE CONDITIONS RELATED TO THIS SPECIFIC PROJECT.



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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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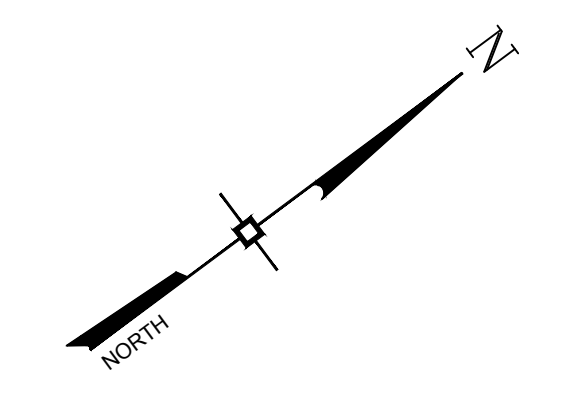
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LEGEND

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WLF-25 WETLAND FLAG LOCATION AND DESIGNATION  
UTILITY POLE



ENGINEERING & SURVEYING PROPERTIES  
Achieving Successful Results with Innovative Designs

MONTGOMERY OFFICE  
71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
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SITE PLAN

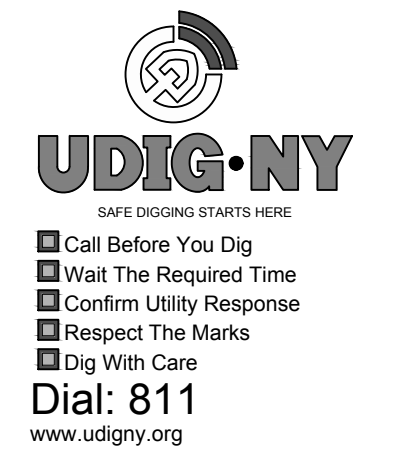
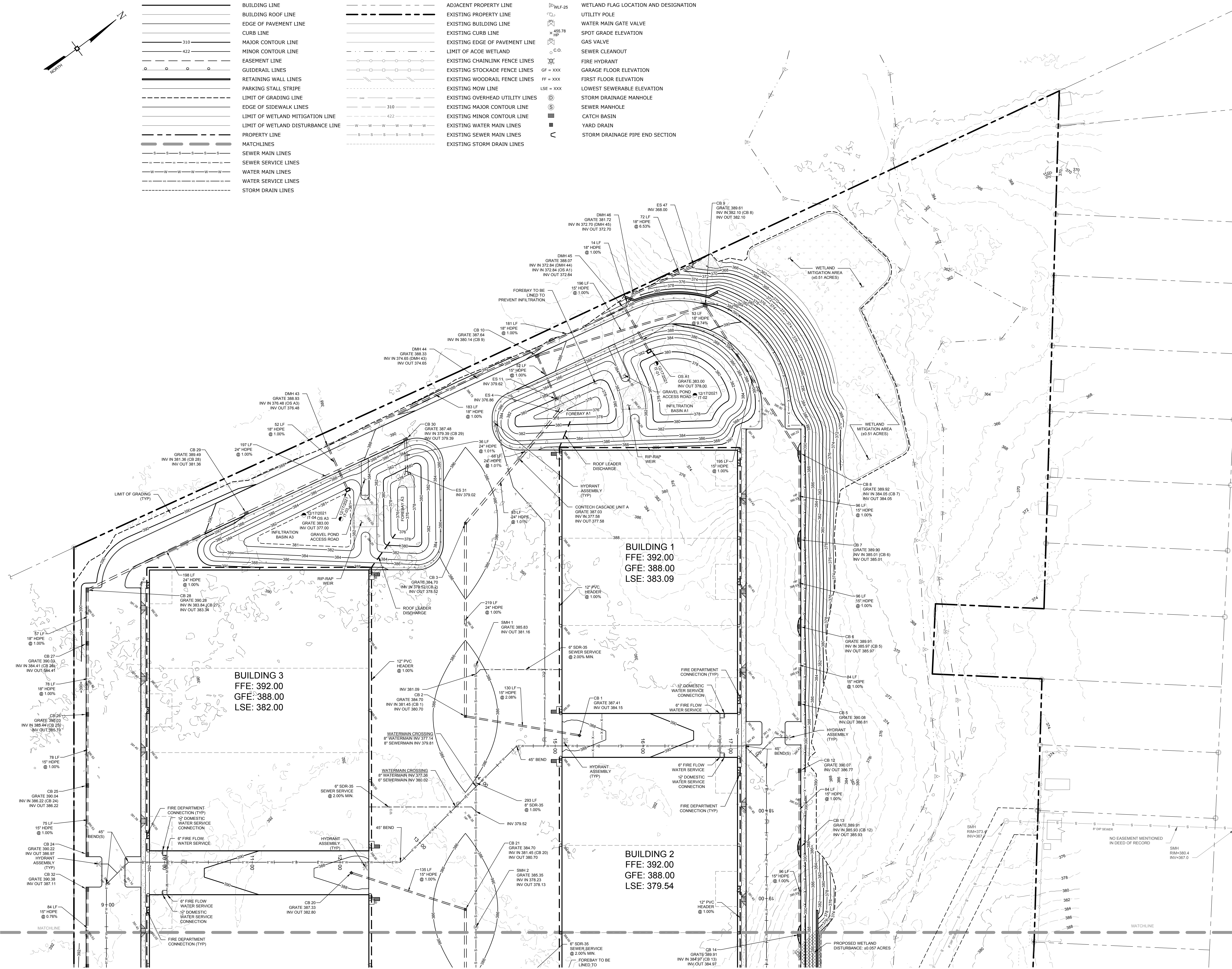
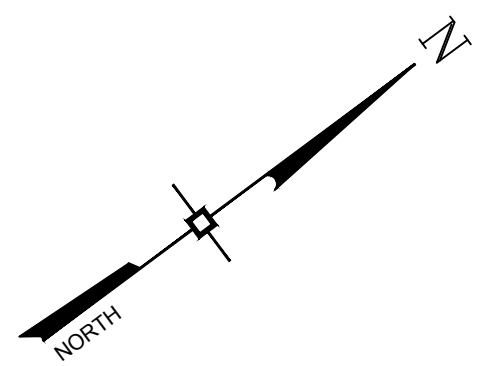
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UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

C-102

**LEGEND**

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRALL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES				
	SEWER SERVICE LINES				
	WATER MAIN LINES				
	WATER SERVICE LINES				
	STORM DRAIN LINES				



**NOTES:**  
 1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	4 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.  
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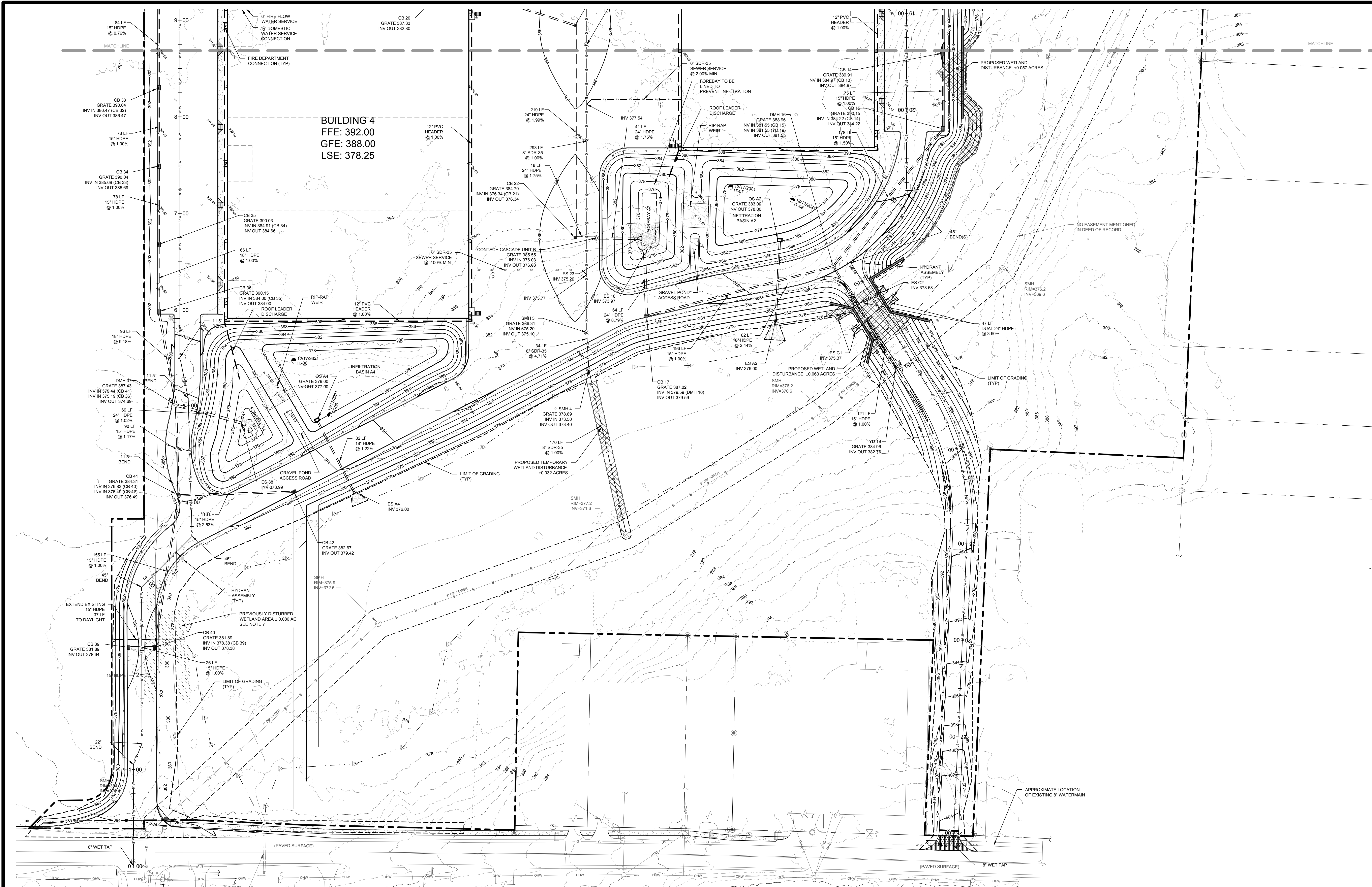
MONTGOMERY OFFICE  
 71 CLINTON STREET  
 MONTGOMERY, NY 12549  
 Ph: (845) 457-7727  
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**GRADING, DRAINAGE & UTILITY PLAN**

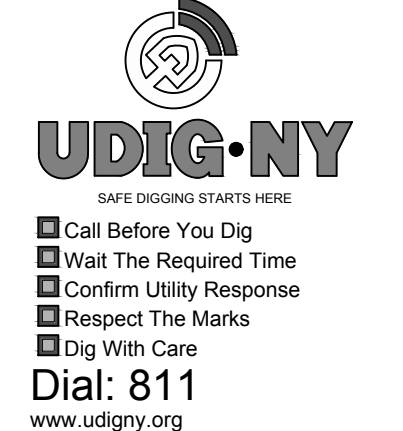
KSH ROUTE 211 DEVELOPMENT  
 UNION STREET  
 VILLAGE OF MONTGOMERY  
 ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

**C-103**



**BUILDING 4**  
 FFE: 392.00  
 GFE: 388.00  
 LSE: 378.25



NOTES:  
 1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

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3	06/10/22	REVISED PER PB COMMENTS
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5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	5	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.  
 NEW YORK LICENSE # 071701

**LEGEND**

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES		WATER SERVICE LINES		
	SEWER SERVICE LINES		STORM DRAIN LINES		
	WATER MAIN LINES				

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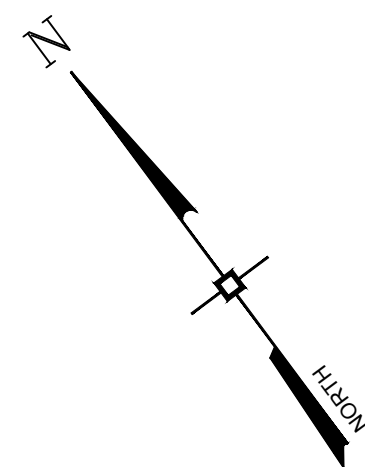
**GRADING, DRAINAGE & UTILITY PLAN**

KSH ROUTE 211 DEVELOPMENT  
 UNION STREET  
 VILLAGE OF MONTGOMERY  
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS  
 DATE: 12/10/2021 SCALE: 1" = 40'  
 REVISION: 9 - 06/16/2023 TAX LOT: 211-1-29-22

**C-104**

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- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

**DISTURBANCE AREA PER PHASE**

PHASE 1	= 317,850 SQFT	= ± 7.30 AC
PHASE 2	= 199,720 SQFT	= ± 5.84 AC
PHASE 3	= 213,867 SQFT	= ± 4.91 AC
PHASE 4	= 201,727 SQFT	= ± 4.50 AC



No.	DATE	DESCRIPTION
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4	09/16/22	REVISED PER PB COMMENTS
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7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

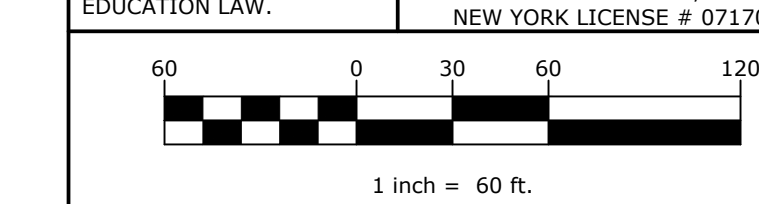
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*RWJ*

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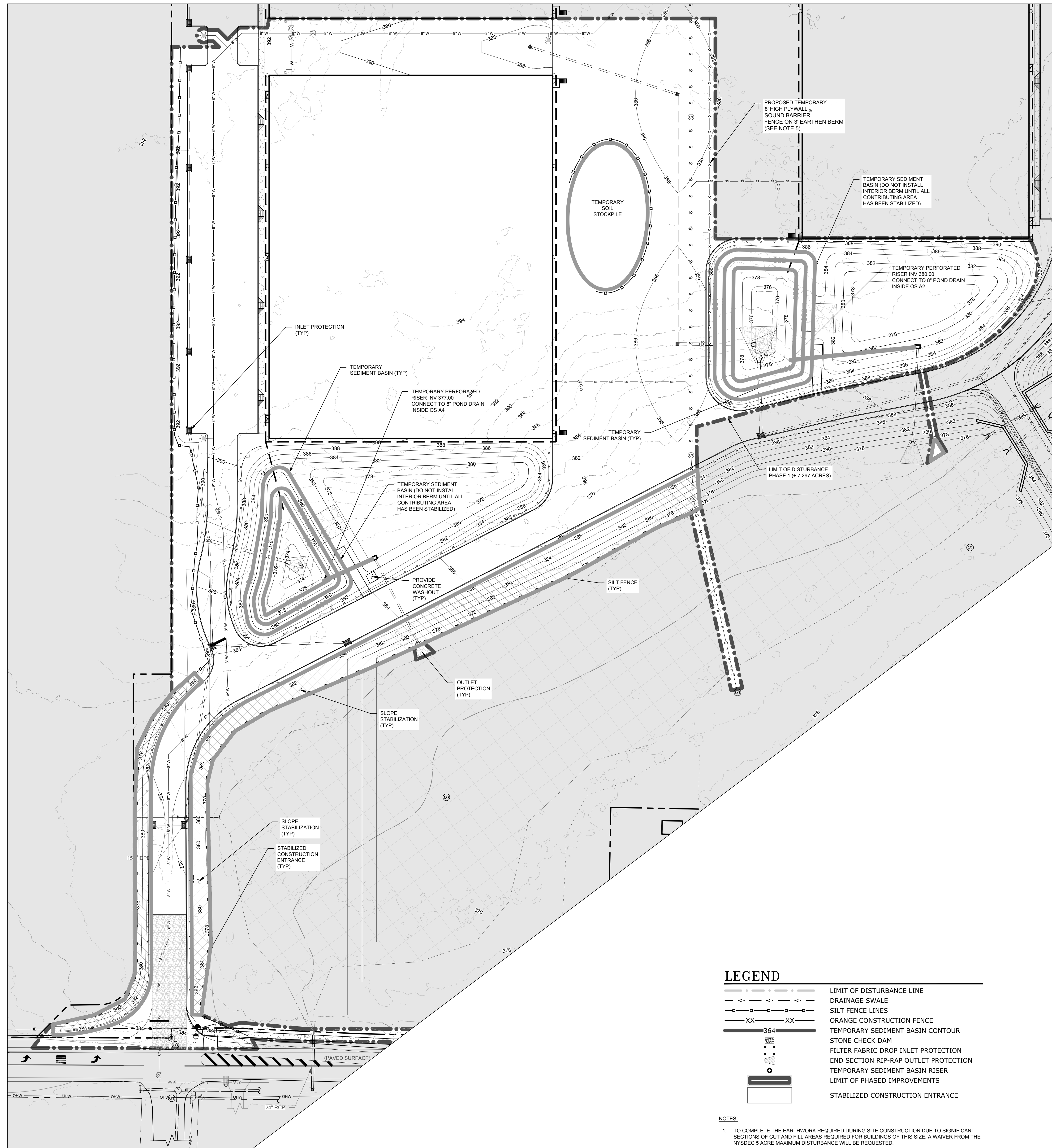
ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 071701



**PHASING PLAN**  
KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 60'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

**C-105**

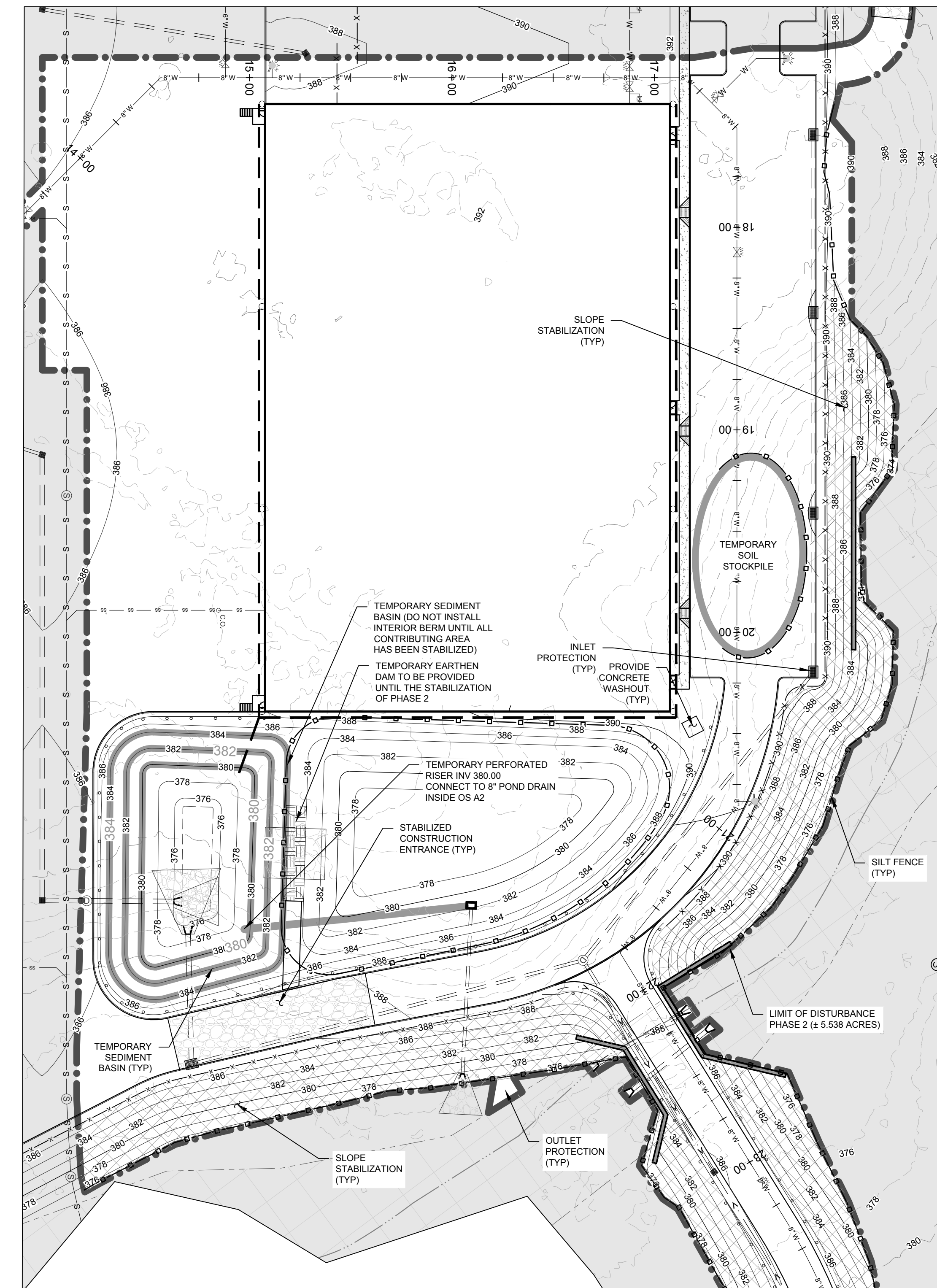


SCALE: 1" = 40'

**PHASE 1 EROSION & SEDIMENT CONTROL PLAN**

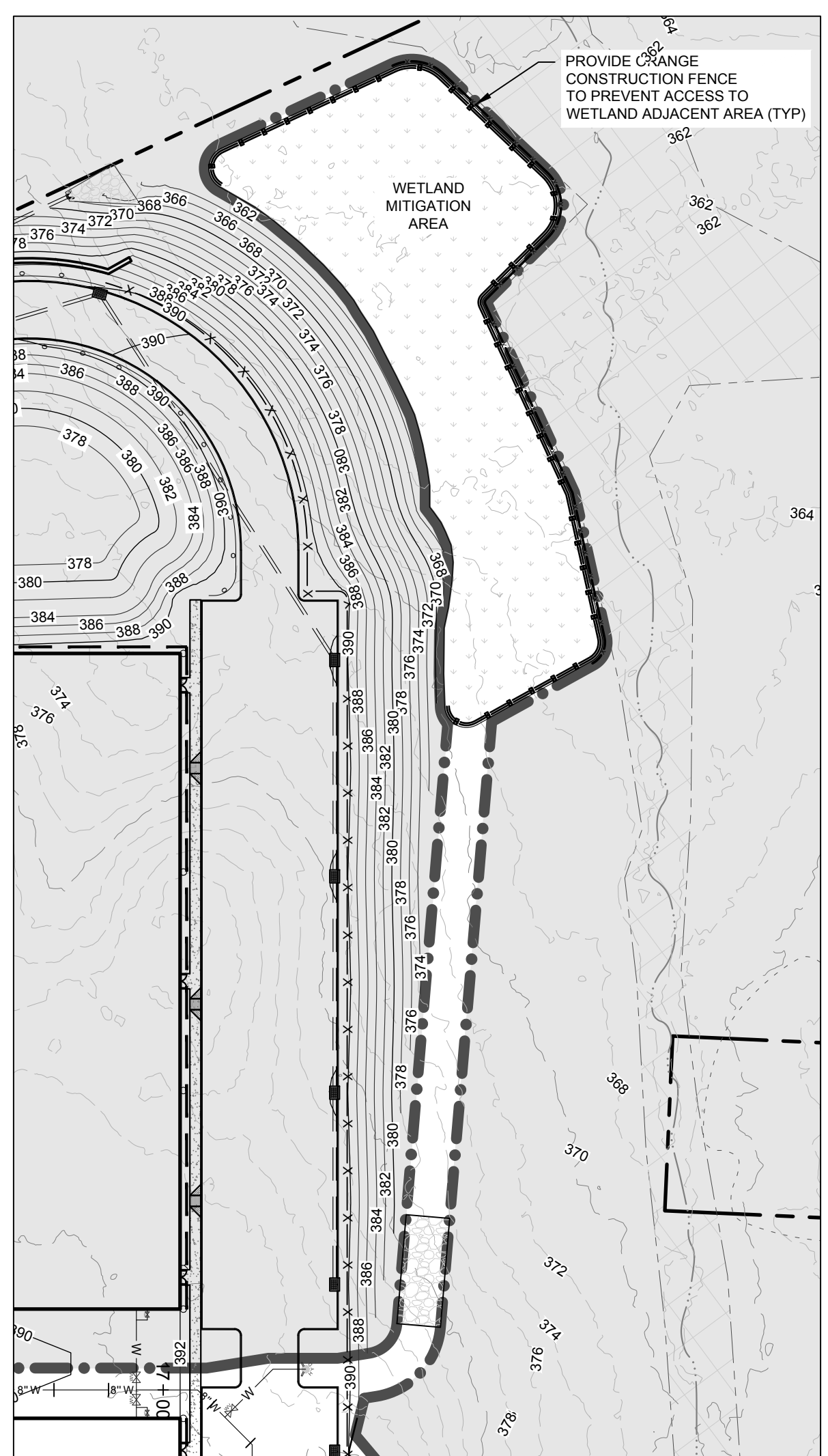
	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

- NOTES:
- TO COMPLETE THE EARTHWORK REQUIRED DURING SITE CONSTRUCTION DUE TO SIGNIFICANT SECTIONS OF CUT AND FILL AREAS REQUIRED FOR BUILDINGS OF THIS SIZE, A WAIVER FROM THE NYSDEC 5 ACRE MAXIMUM DISTURBANCE WILL BE REQUESTED.
  - ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.
  - THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS, FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
  - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
  - PROPOSED TEMPORARY 8' HIGH PLYWALL & SOUND BARRIER FENCE TO REMAIN UNTIL THE PHASE 2 BUILDING IS ERRECTED.



SCALE: 1" = 60'

**PHASE 2 EROSION & SEDIMENT CONTROL PLAN**



1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	ISSUE DATE: 06/16/2023	SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	7	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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*RWJ*

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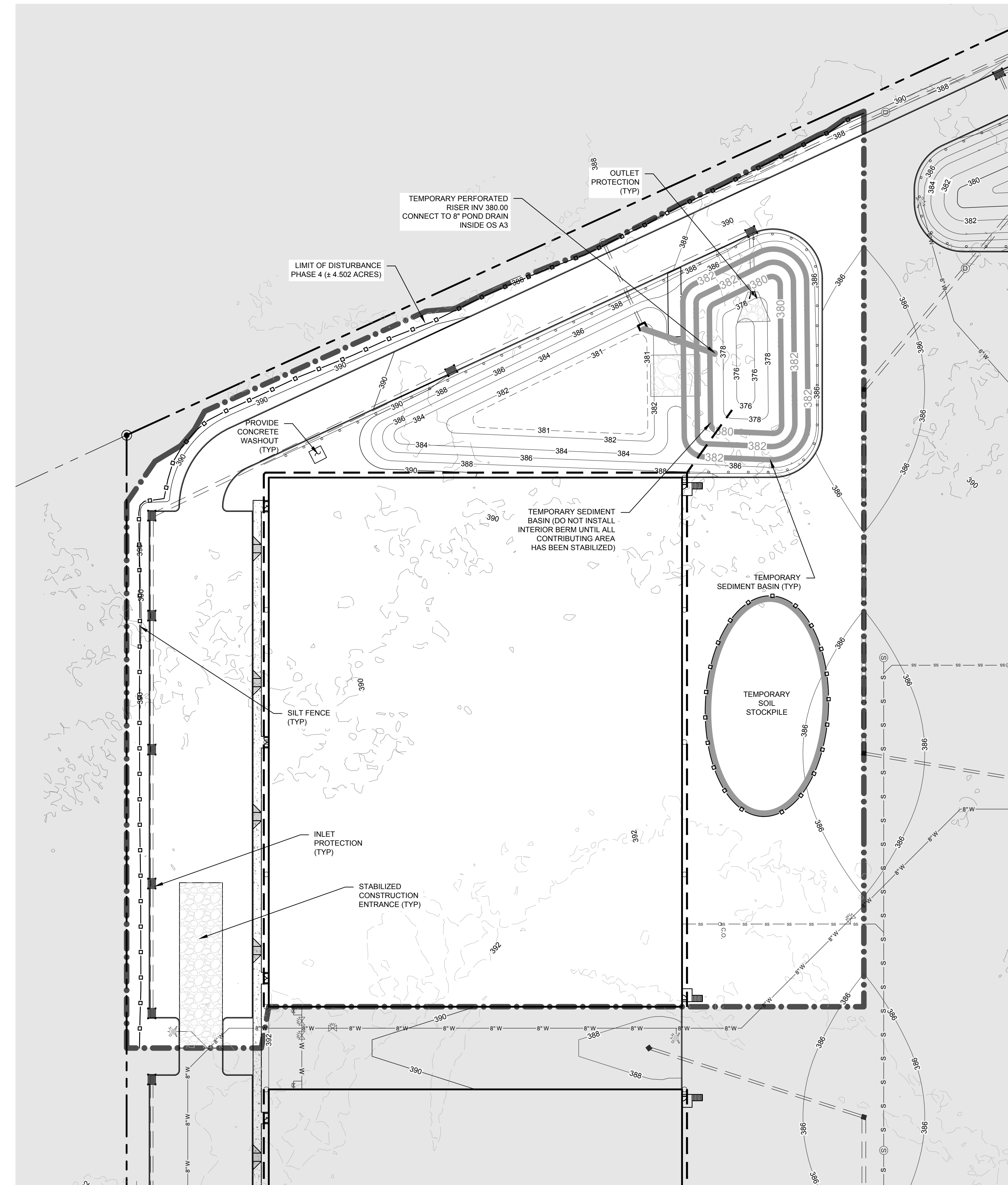
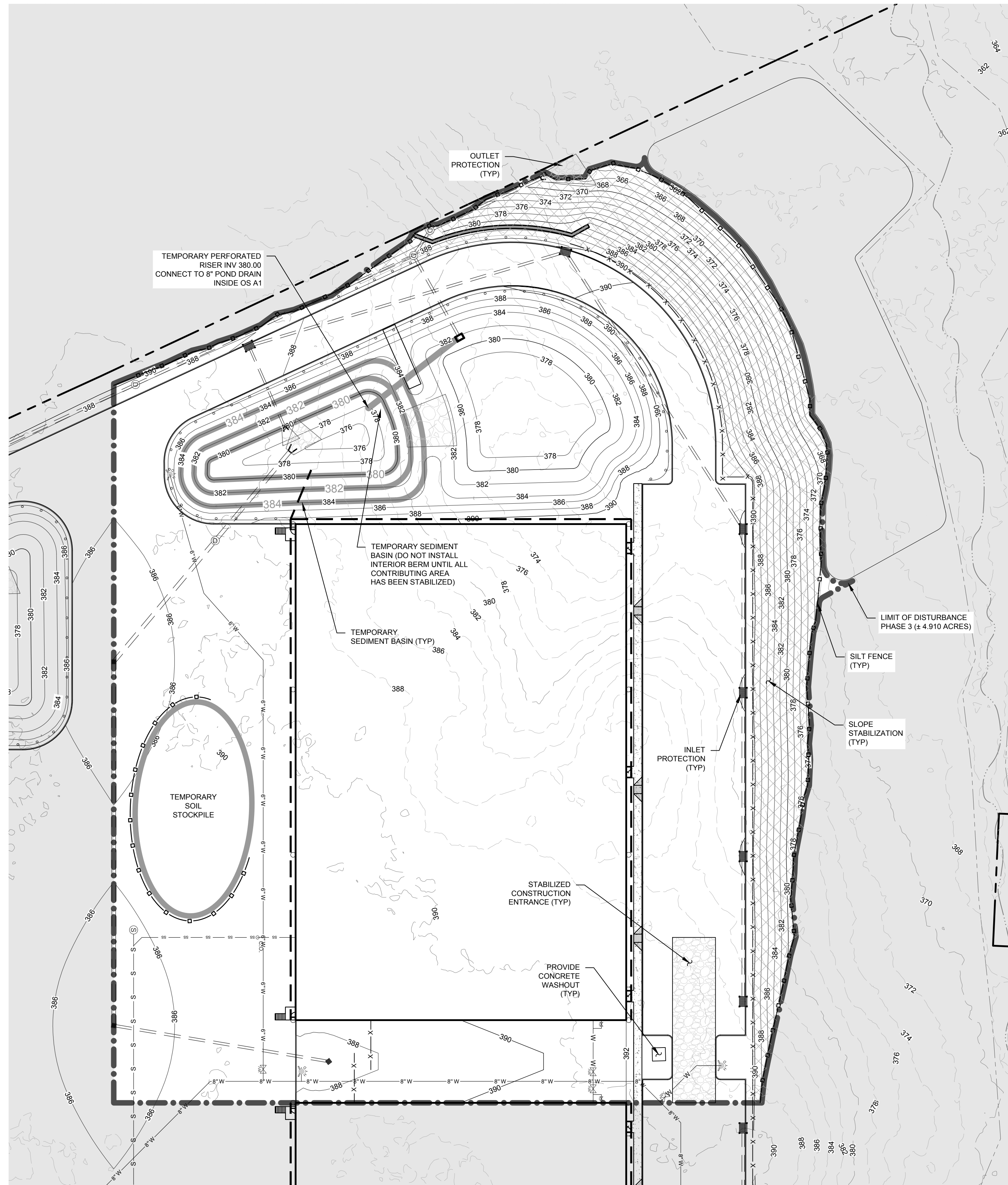
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**EROSION & SEDIMENT CONTROL PLAN**  
KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

**C-106**



**LEGEND**

	LIMIT OF DISTURBANCE LINE
	DRAINAGE SWALE
	SILT FENCE LINES
	ORANGE CONSTRUCTION FENCE
	TEMPORARY SEDIMENT BASIN CONTOUR
	STONE CHECK DAM
	FILTER FABRIC DROP INLET PROTECTION
	END SECTION RIP-RAP OUTLET PROTECTION
	TEMPORARY SEDIMENT BASIN RISER
	LIMIT OF PHASED IMPROVEMENTS
	STABILIZED CONSTRUCTION ENTRANCE

**NOTES**

- TO COMPLETE THE EARTHWORK REQUIRED DURING SITE CONSTRUCTION DUE TO SIGNIFICANT SECTIONS OF CUT AND FILL AREAS REQUIRED FOR BUILDINGS OF THIS SIZE, A WAIVER FROM THE NYSDEC 5 ACRE MAXIMUM DISTURBANCE WILL BE REQUESTED.
- ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET, AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.
- THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS, FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.



No.	DATE	DESCRIPTION
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DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	8 OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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*[Signature]*

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**EROSION & SEDIMENT CONTROL PLAN**  
KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

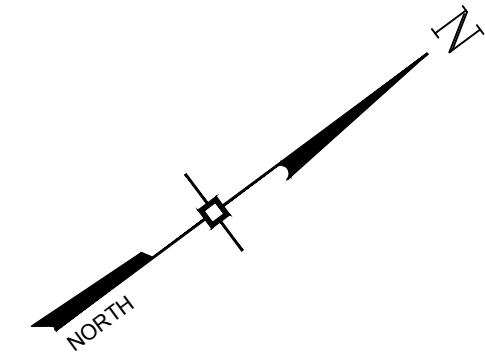
JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	9 - 06/16/2023	TAX LOT:	211-1-29-22

**C-107**



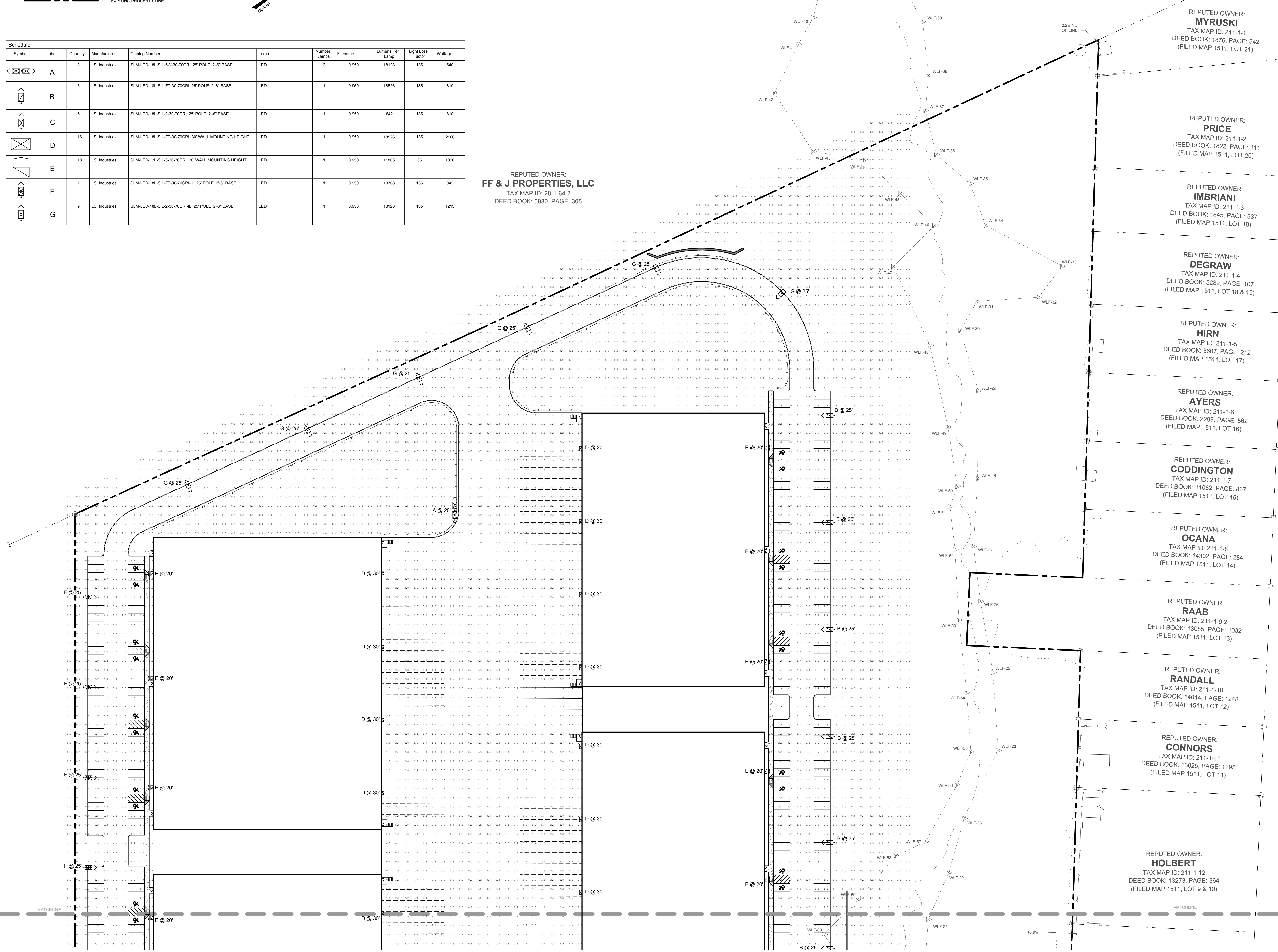
**LEGEND**

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE



Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18L-SIL-5W-30-70CRI 25 POLE 2'-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 25 POLE 2'-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI 25 POLE 2'-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12L-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI-IL 25 POLE 2'-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI-IL 25 POLE 2'-6" BASE	LED	1	0.950	18128	135	1215

REPUTED OWNER:  
**FF & J PROPERTIES, LLC**  
TAX MAP ID: 28-1-64.2  
DEED BOOK: 5980, PAGE: 305



REPUTED OWNER:  
**MYRUSKI**  
TAX MAP ID: 211-1-1  
DEED BOOK: 1876, PAGE: 542  
(FILED MAP 1511, LOT 21)

REPUTED OWNER:  
**PRICE**  
TAX MAP ID: 211-1-2  
DEED BOOK: 1822, PAGE: 111  
(FILED MAP 1511, LOT 20)

REPUTED OWNER:  
**IMBRIANI**  
TAX MAP ID: 211-1-3  
DEED BOOK: 1845, PAGE: 337  
(FILED MAP 1511, LOT 19)

REPUTED OWNER:  
**DEGRAW**  
TAX MAP ID: 211-1-4  
DEED BOOK: 5289, PAGE: 107  
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:  
**HIRN**  
TAX MAP ID: 211-1-5  
DEED BOOK: 3807, PAGE: 212  
(FILED MAP 1511, LOT 17)

REPUTED OWNER:  
**AYERS**  
TAX MAP ID: 211-1-6  
DEED BOOK: 2299, PAGE: 562  
(FILED MAP 1511, LOT 16)

REPUTED OWNER:  
**CODDINGTON**  
TAX MAP ID: 211-1-7  
DEED BOOK: 11082, PAGE: 837  
(FILED MAP 1511, LOT 15)

REPUTED OWNER:  
**OCANA**  
TAX MAP ID: 211-1-8  
DEED BOOK: 14302, PAGE: 284  
(FILED MAP 1511, LOT 14)

REPUTED OWNER:  
**RAAB**  
TAX MAP ID: 211-1-9.2  
DEED BOOK: 13085, PAGE: 1032  
(FILED MAP 1511, LOT 13)

REPUTED OWNER:  
**RANDALL**  
TAX MAP ID: 211-1-10  
DEED BOOK: 14014, PAGE: 1248  
(FILED MAP 1511, LOT 12)

REPUTED OWNER:  
**CONNORS**  
TAX MAP ID: 211-1-11  
DEED BOOK: 13025, PAGE: 1295  
(FILED MAP 1511, LOT 11)

REPUTED OWNER:  
**HOLBERT**  
TAX MAP ID: 211-1-12  
DEED BOOK: 13273, PAGE: 364  
(FILED MAP 1511, LOT 9 & 10)



No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
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DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	9	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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**LIGHTING PLAN**

KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #: 1281.01  
DATE: 12/10/2021  
REVISION: 9 - 06/16/2023

DRAWN BY: JM  
SCALE: 1" = 40'  
TAX LOT: 211-1-29.22

**C-108**

DEED BOOK: 13273, PAGE: 364  
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:  
**KOCH**  
TAX MAP ID: 211-1-13  
DEED BOOK: 11557, PAGE: 633  
(FILED MAP 1511, LOT 8)

REPUTED OWNER:  
**LADANYI**  
TAX MAP ID: 211-1-14  
DEED BOOK: 13230, PAGE: 1591  
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:  
**VAN ZANDT**  
TAX MAP ID: 211-1-15  
DEED BOOK: 11886, PAGE: 1833  
(FILED MAP 1511, LOT 4)

REPUTED OWNER:  
**VAN ZANDT**  
TAX MAP ID: 211-1-16  
DEED BOOK: 14209, PAGE: 1  
(FILED MAP 1511, LOT 3)

REPUTED OWNER:  
**FOX**  
TAX MAP ID: 211-1-17  
DEED BOOK: 11996, PAGE: 1  
(FILED MAP 1511, LOT 2)

REPUTED OWNER:  
**PALENIK**  
TAX MAP ID: 211-1-24  
DEED BOOK: 13022, PAGE: 1091

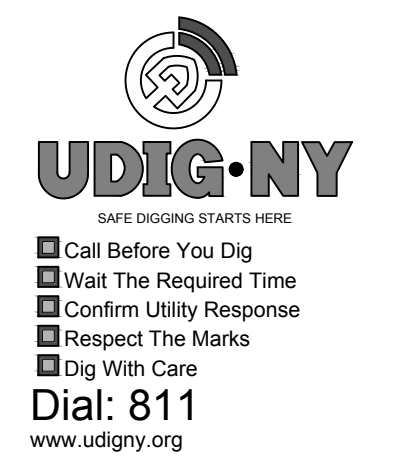
REPUTED OWNER:  
**BLUE SWARD HOLDING CORP**  
TAX MAP ID: 211-1-25  
DEED BOOK: 14213, PAGE: 1498

REPUTED OWNER:  
**REALE**  
TAX MAP ID: 211-1-26  
DEED BOOK: 4608, PAGE: 63

REPUTED OWNER:  
**MALLEY**  
TAX MAP ID: 211-1-27  
DEED BOOK: 3763, PAGE: 229

REPUTED OWNER:  
**EMBRO**  
TAX MAP ID: 211-1-28  
DEED BOOK: 3156, PAGE: 41

REPUTED OWNER:  
**HOEFFNER**  
TAX MAP ID: 211-1-29-21  
DEED BOOK: 4481, PAGE: 324



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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	10 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 071701

**LEGEND**

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18-SIL-SW-30-70CRI 25' POLE 2-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18-SIL-2-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	18128	135	1215

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**LIGHTING PLAN**

KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #: 1281.01  
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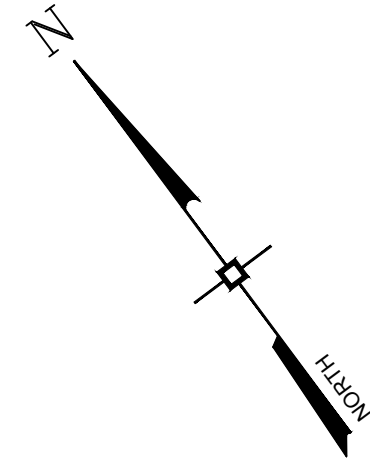
DRAWN BY: JM  
SCALE: 1" = 40'  
TAX LOT: 211-1-29-22

**C-109**

RETENTION/DETENTION POND PLANTINGS:

- DRAW DOWN ZONE/ EMERGENT AREA:  
NORTHEAST WETLAND NATIVE WILDOFLOWER MIX
- PERMANENT GRASS MIX
- NORTHEAST WETLAND GRASS SEED MIX

PLANTS LIST							
SYMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
	DECIDUOUS TREES	Ao	17	Acer Rubrum "October Glory"	October Glory Red Maple	3"-3-1/2" c	B4B
		Lp	5	Platanus x Acerifolia	London Planetree	3"-3-1/2" c	B4B
		Pr	11	Prunus Subhirtella "Autumnalis"	Higan Cherry	2"- 2-1/2" c	B4B
		Pe	16	Prunus serrulata "Kwanzan"	Kwanzan Cherry	2"- 2-1/2" c	B4B
		Qp	24	Quercus Palustris	Pin Oak	3"- 3-1/2" c	B4B
	EVERGREEN TREES	Tc	3	Tilia Cordata "Greenspire"	Greenspire Linden	3"- 3-1/2" c	B4B
		Ns	42	Picea Abies	Norway Spruce	1' - 8' hgt	B4B
		Ts	94	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6' - 1' hgt	B4B
	EVERGREEN SHRUBS	Ig	34	Ilex Glabra	Inkberry Holly	34" - 36"	B4B
		Vr	51	Viburnum Rhytidophyllum	Leather Leaf Viburnum	34" - 36"	B4B
	DECIDUOUS SHRUBS	Aa	29	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B4B
		Sd	22	Cornus Amomum	Silky Dogwood	30" - 34"	Container



PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 8-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 3 LBS./1000 SQ. FT. OF:
  - 60% KENTUCKY BLUE GRASS
  - 20% CHEWINGS FESCUE
  - 20% PERENNIAL RYE

PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1



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<input type="checkbox"/> OCCOCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOCH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
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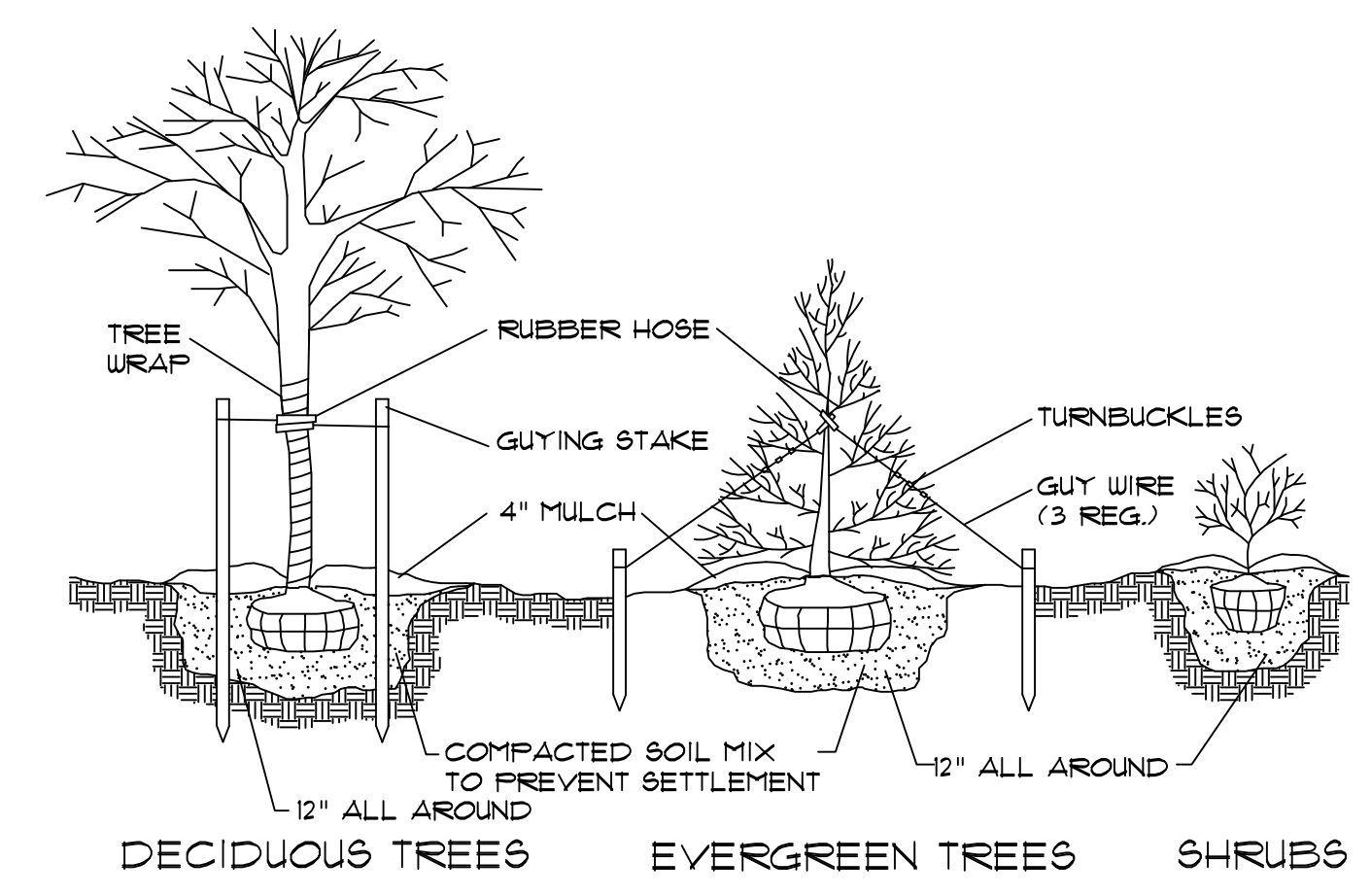
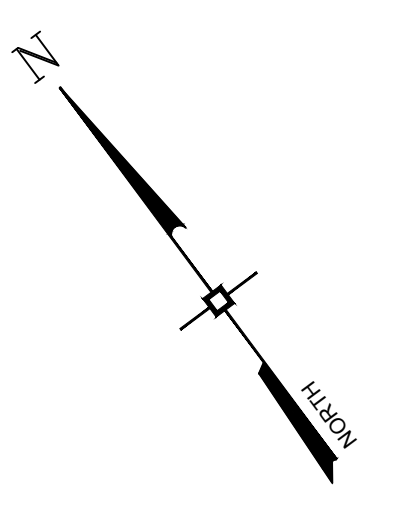
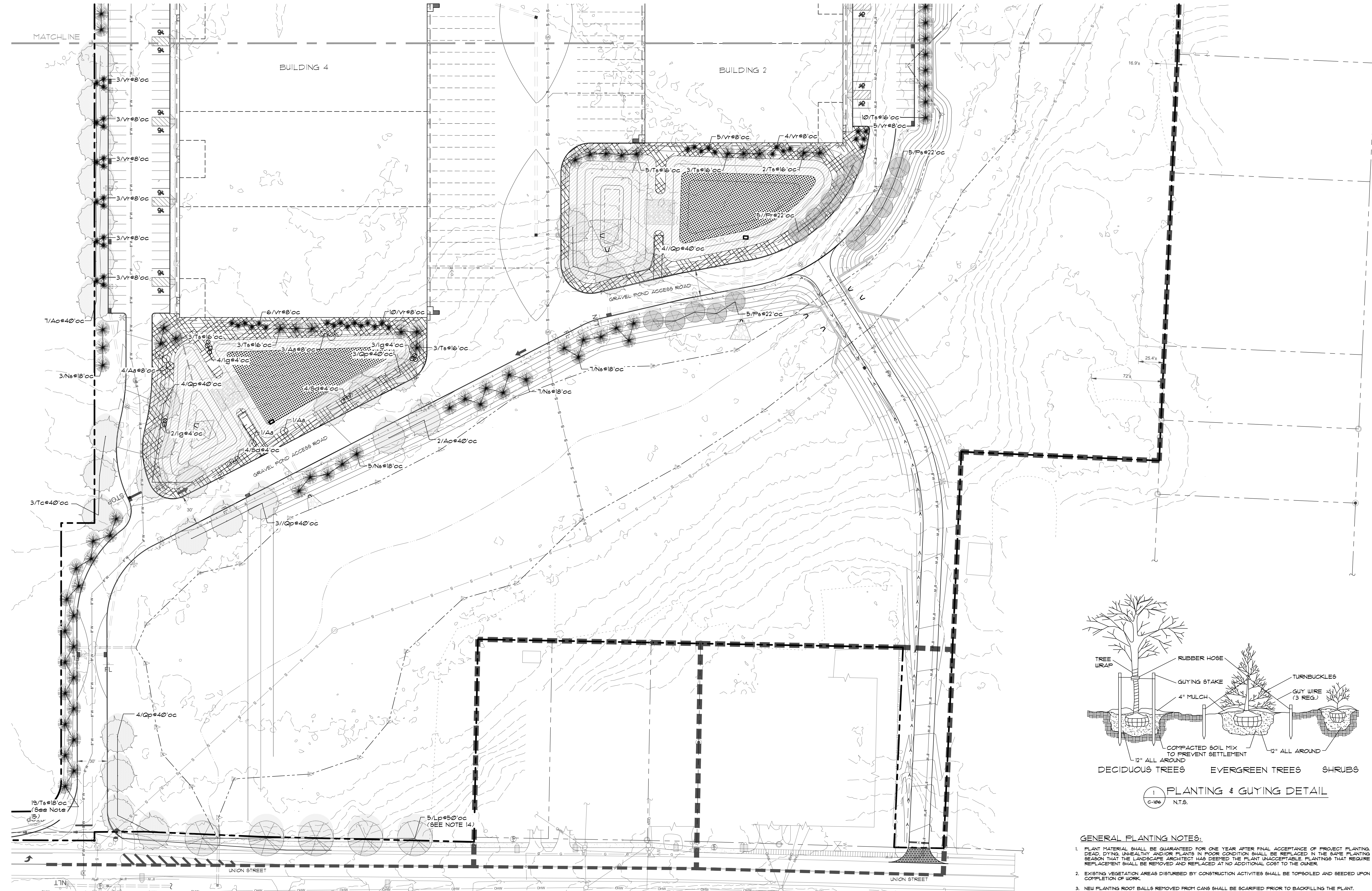
**LANDSCAPE PLAN & DETAILS**

KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS  
DATE: 12/10/2021 SCALE: 1" = 40'  
REVISION: 9 - 06/16/2023 TAX LOT: 211-1-29.22

**C-110**

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1 PLANTING & GUYING DETAIL  
C-106 N.T.S.

**GENERAL PLANTING NOTES:**

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DETERMINED THE PLANT UNACCEPTABLE PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND BEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY SHRUBS AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (C.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4".
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- PLANT UP TO FIVE (5) LONDON PLANETREE ALONG UNION AVE ROW TO SUPPLEMENT EXISTING VEGETATION. LOCATIONS TO BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT AND VILLAGE ENGINEER IN THE FIELD.
- THE NINETEEN (19) GIANT GREEN ARBORVITAE ALONG THE MAIN ENTRANCE SHALL BE MAINTAINED IN PERPETUITY TO ENSURE THE SOUND DAMPENING EFFECTS. A 1-INCH DEER FENCE SHALL BE PLACED AROUND THESE TREES AND TREES SHALL BE FERTILIZED WITH A UREA-BASED FERTILIZER FOR THE FIRST FIVE YEARS UNTIL THEY BECOME ESTABLISHED AND REMAIN IN FULL FOLIAGE.

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1 inch = 40 ft.

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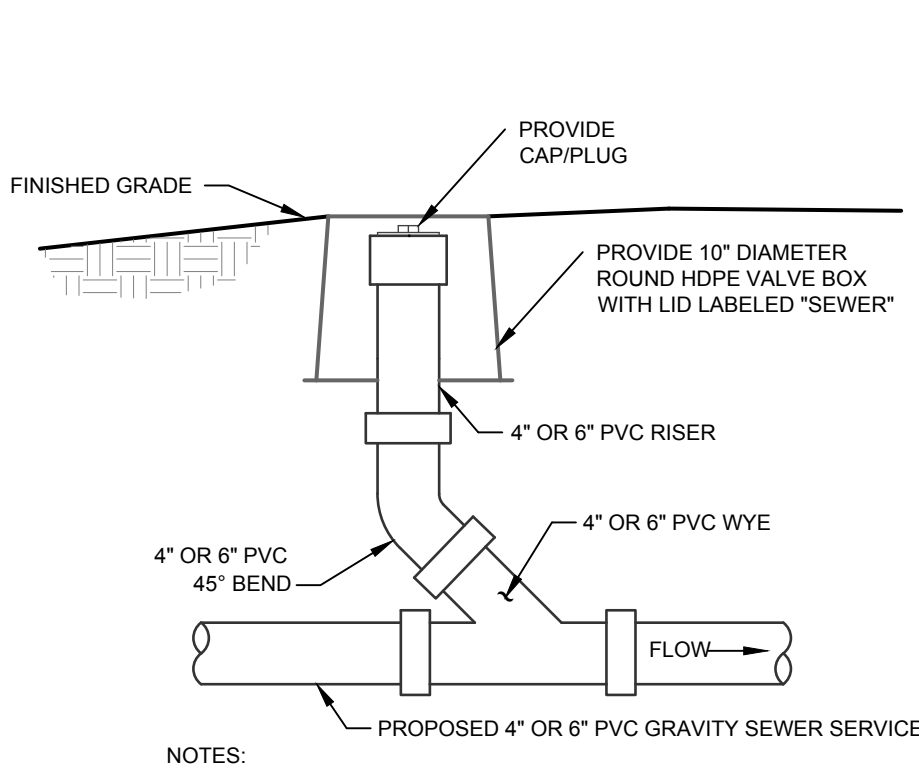
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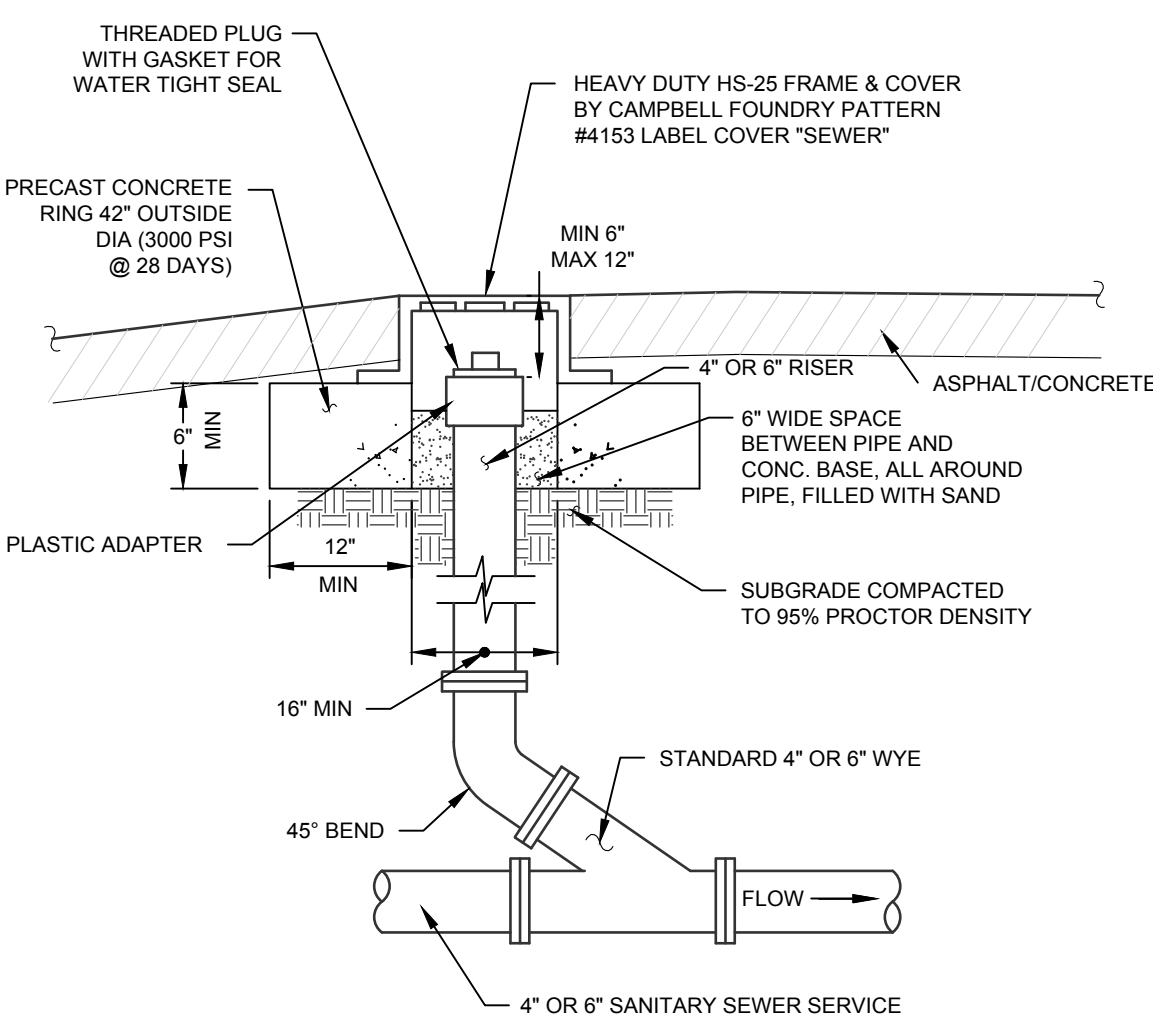
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JOB #: 1281.01 DRAWN BY: ZS  
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**C-111**



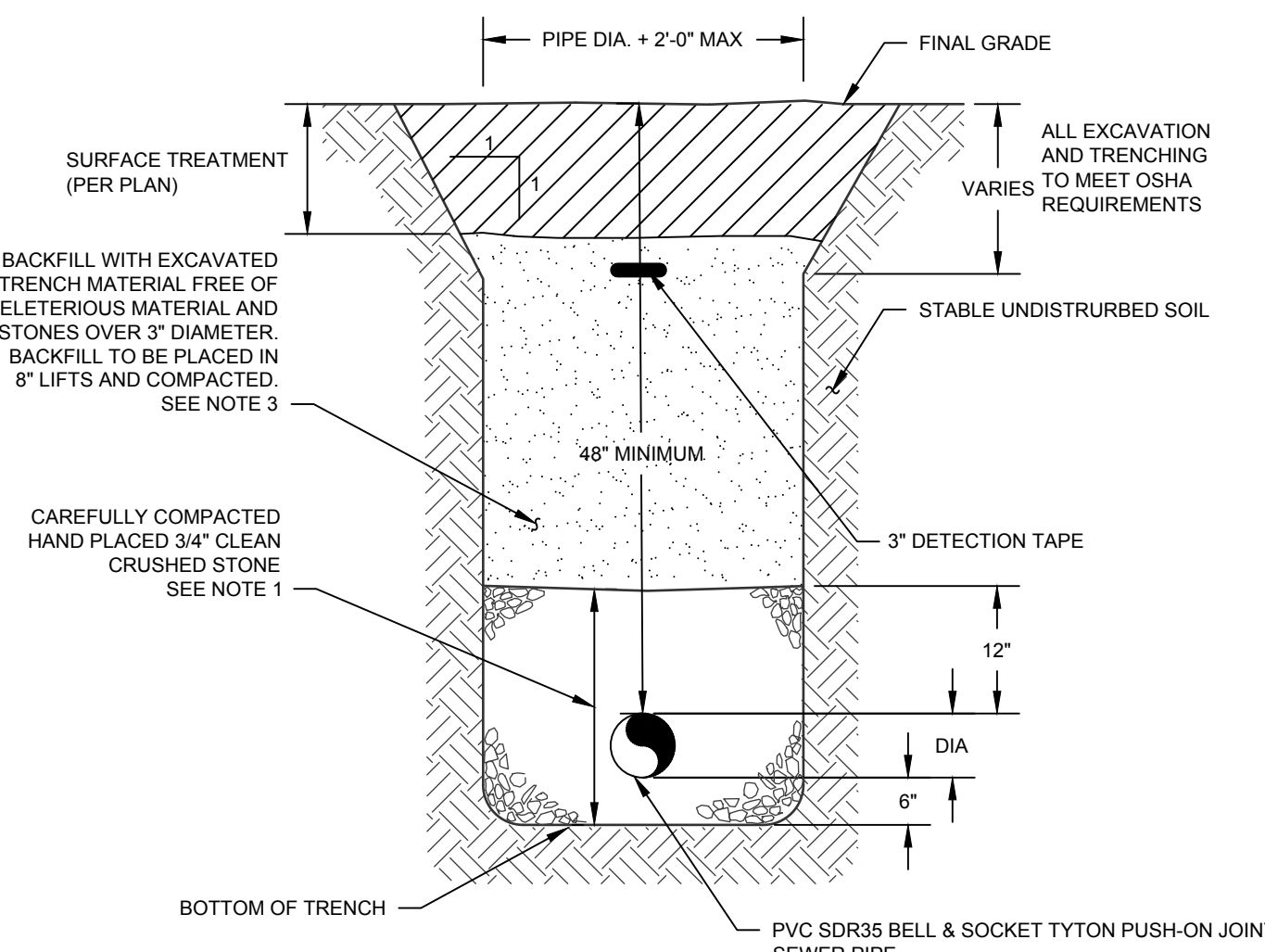
**TYPICAL CLEANOUT**  
SCALE: NONE



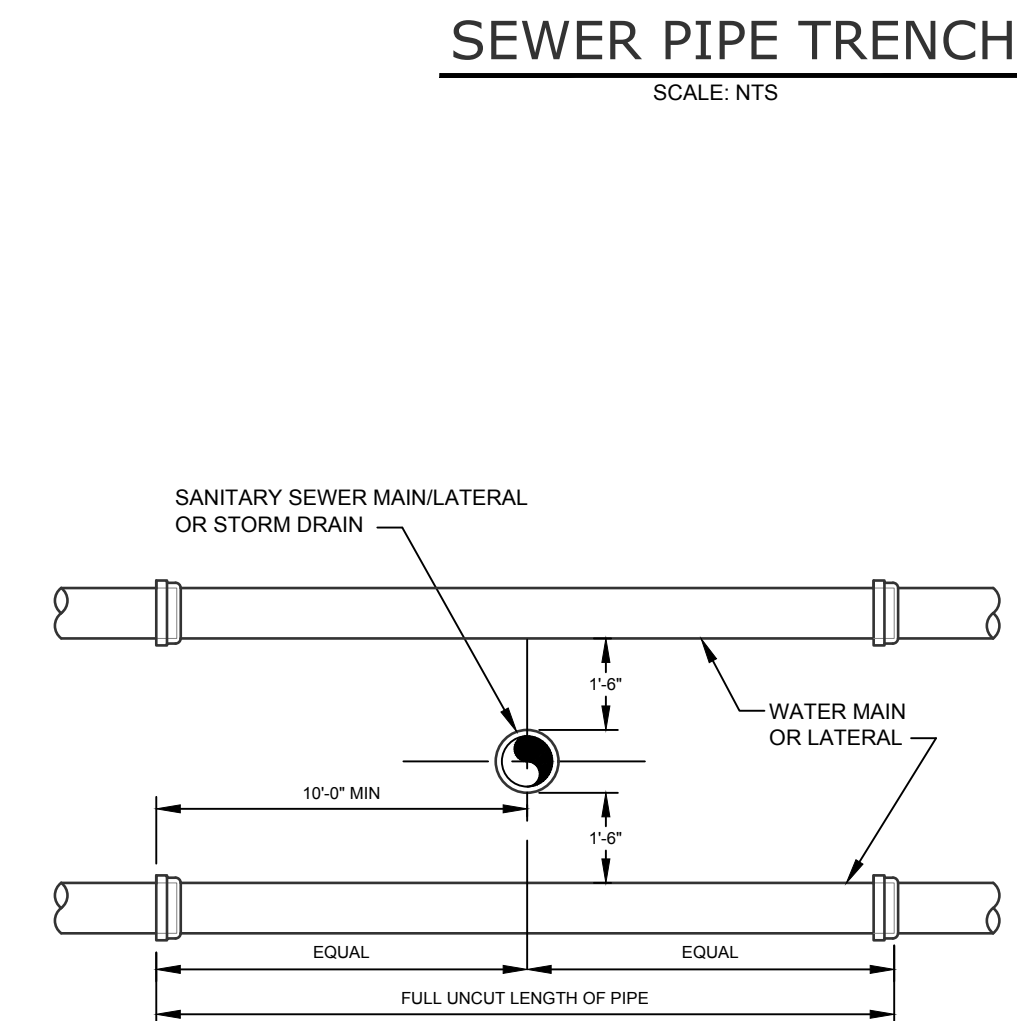
**TYPICAL CLEANOUT IN PAVED AREA**  
SCALE: NTS

**SEWER SYSTEM NOTES**

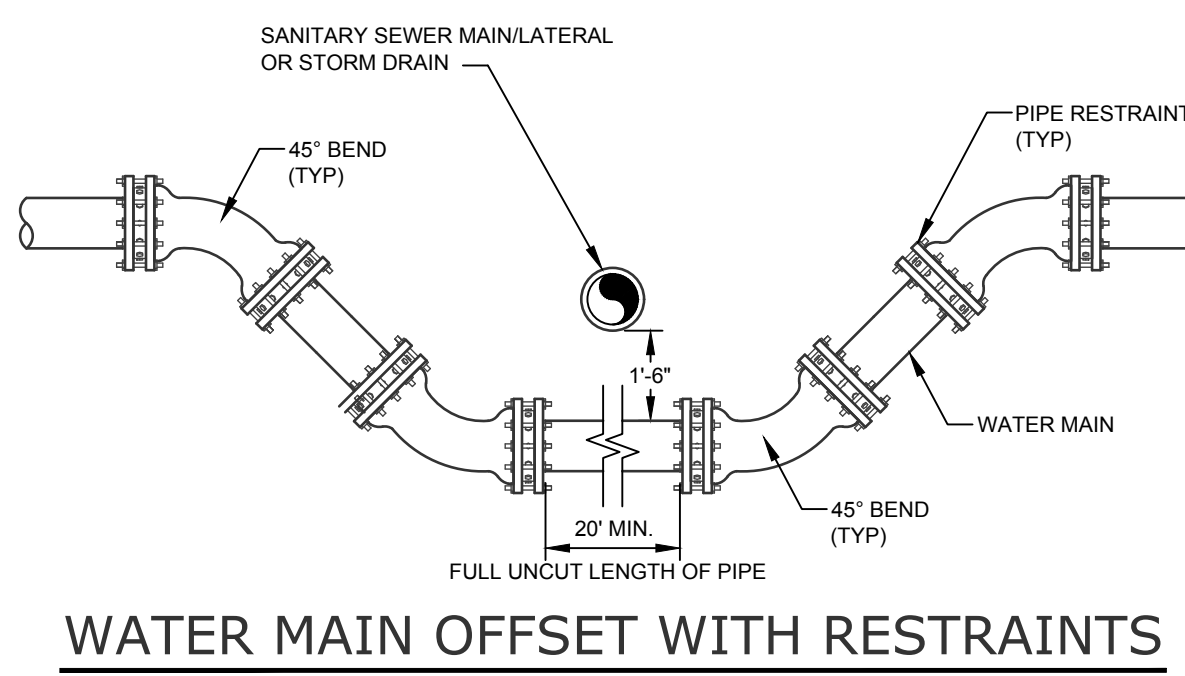
- ALL GRAVITY SEWER PIPE SHALL BE SDR-35 PVC AND ALL FORCEMAIN SEWER PIPE SHALL BE SDR-35 PVC.
- IF GROUNDWATER IS ENCOUNTERED DURING TRENCH EXCAVATION, THE CONTRACTOR SHALL DEWATER THE TRENCH PRIOR TO INSTALLATION. ALL DEWATERING OPERATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO VERIFY INVERT ELEVATIONS OF EXISTING SEWER MAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT.
- CONTRACTOR SHALL CALL THE VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS (645-457-3095) AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS.
- CONTRACTOR SHALL CALL UNDERGROUND MARKOUT AT 1-800-962-7962 AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS FOR COMPLETE UTILITY MARKOUT.
- THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH VILLAGE OF MONTGOMERY TOWN CODE SECTION 194-26, INCLUDING BUT NOT LIMITED TO VACUUM TESTING OF MANHOLES, LOW PRESSURE AIR TEST OF MAINS AND LATERALS, AND VIDEO RECORDING OF ALL MAINS.
- THE PROPOSED SEWERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED SEWERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



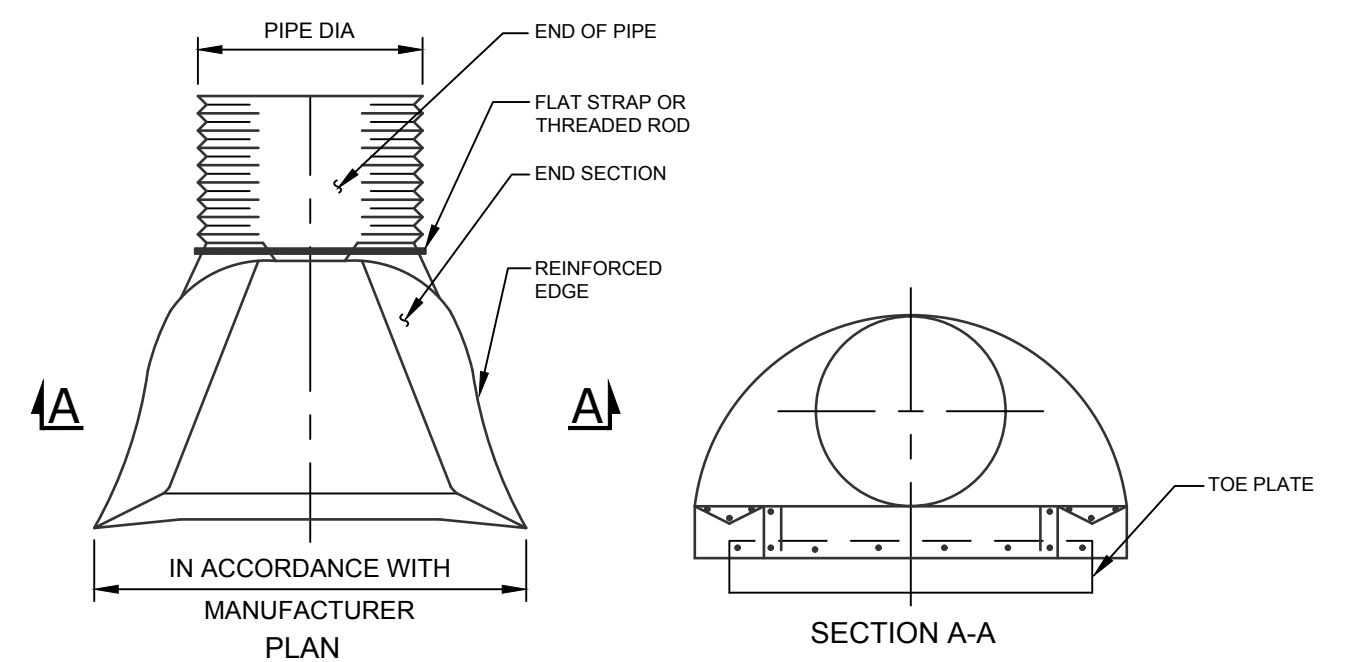
**WATER PIPE TRENCH**  
SCALE: NTS



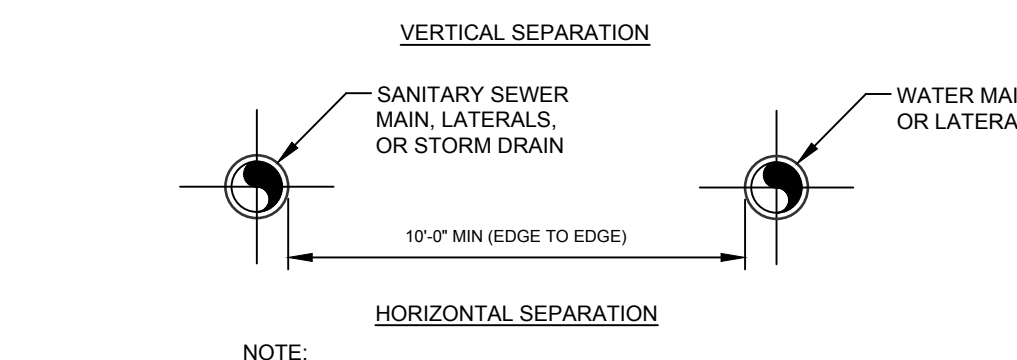
**SEWER PIPE TRENCH**  
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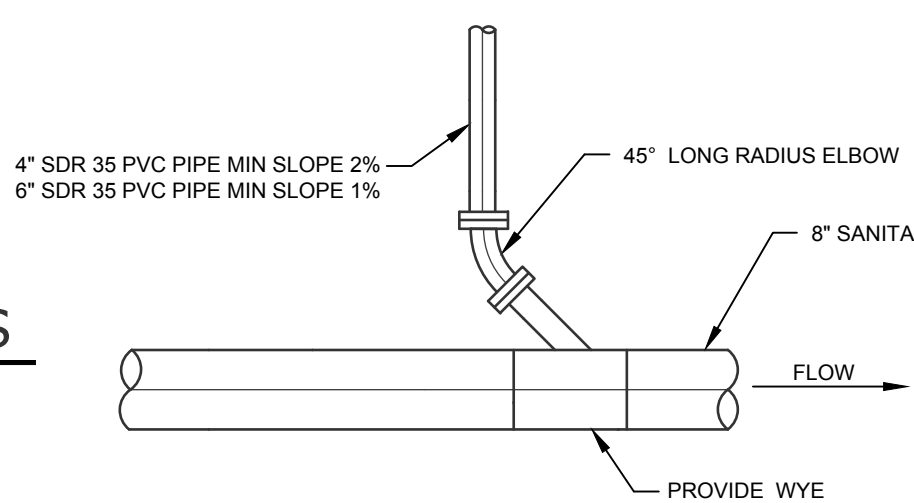
**WATER MAIN OFFSET WITH RESTRAINTS**  
SCALE: N.T.S.



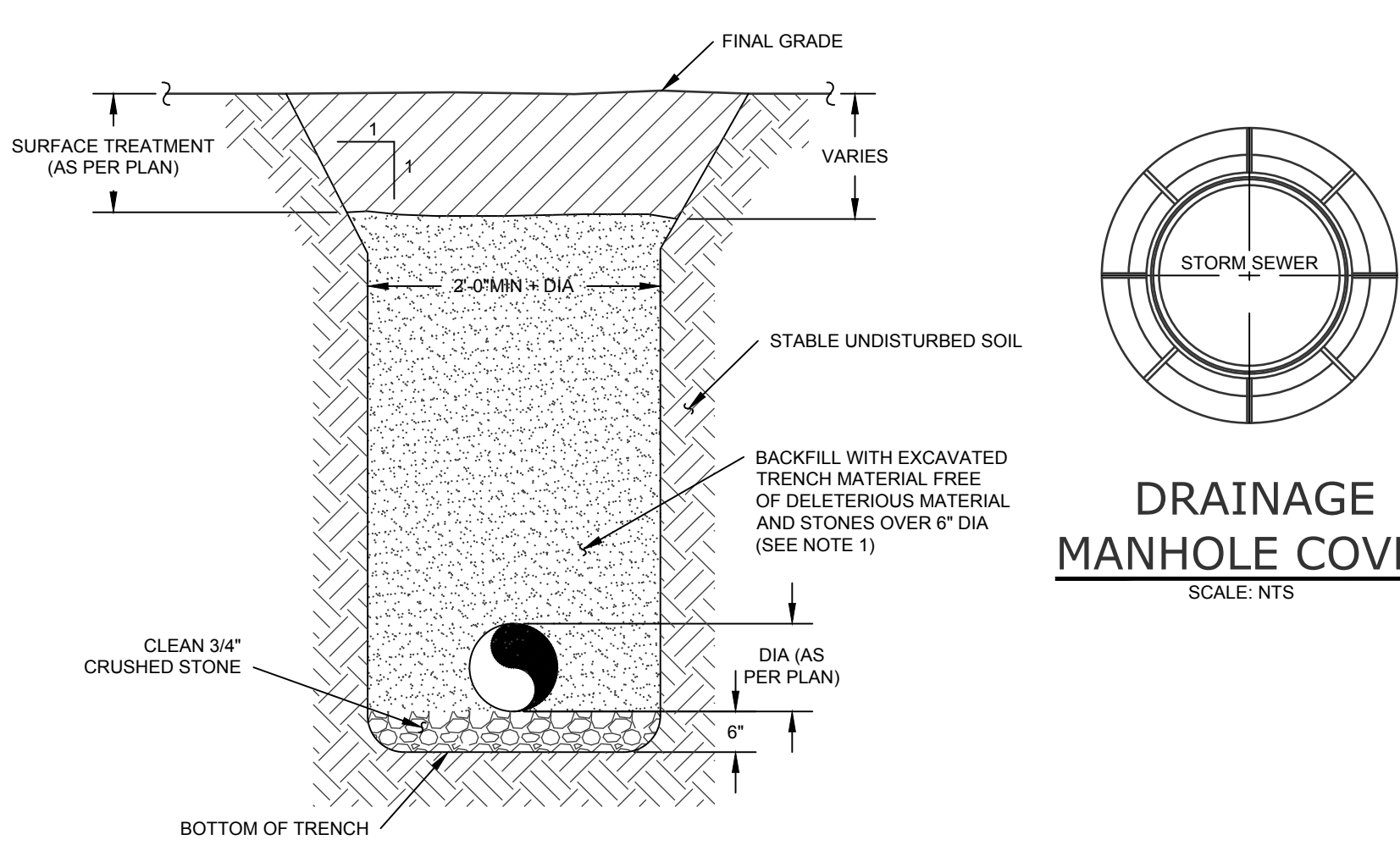
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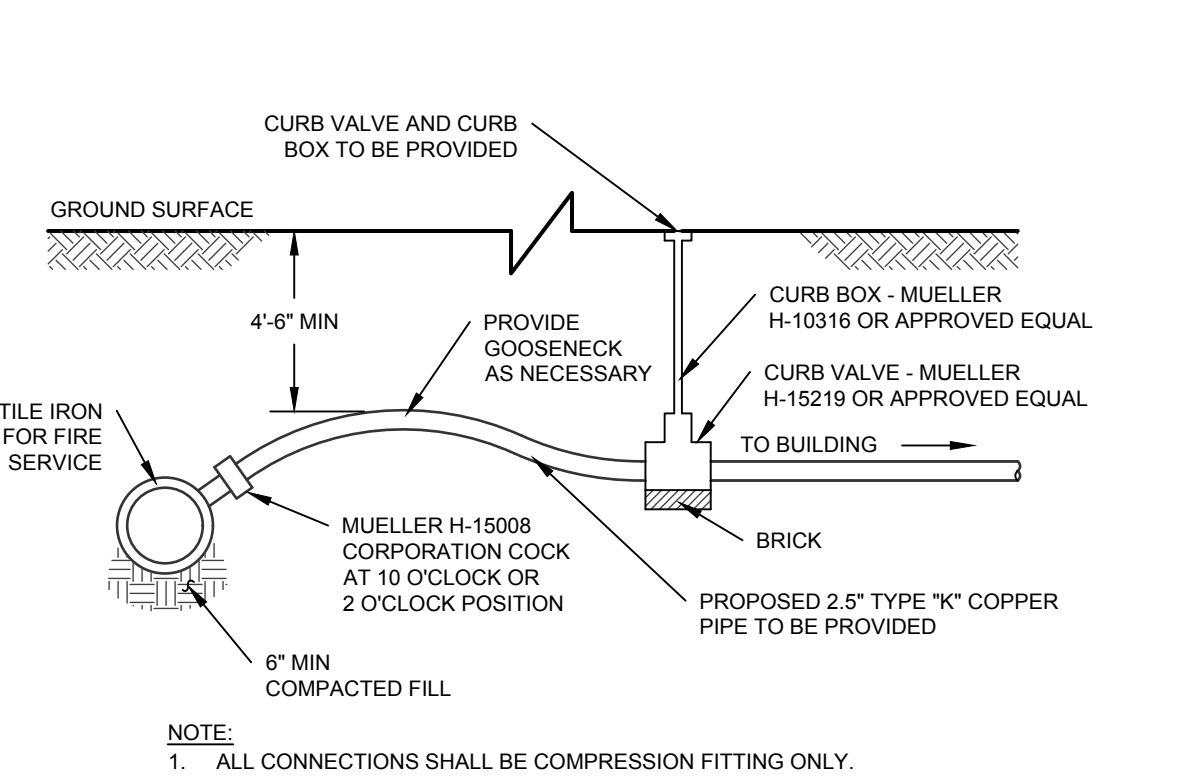
**WATER/SEWER SEPARATION REQUIREMENTS**  
SCALE: NTS



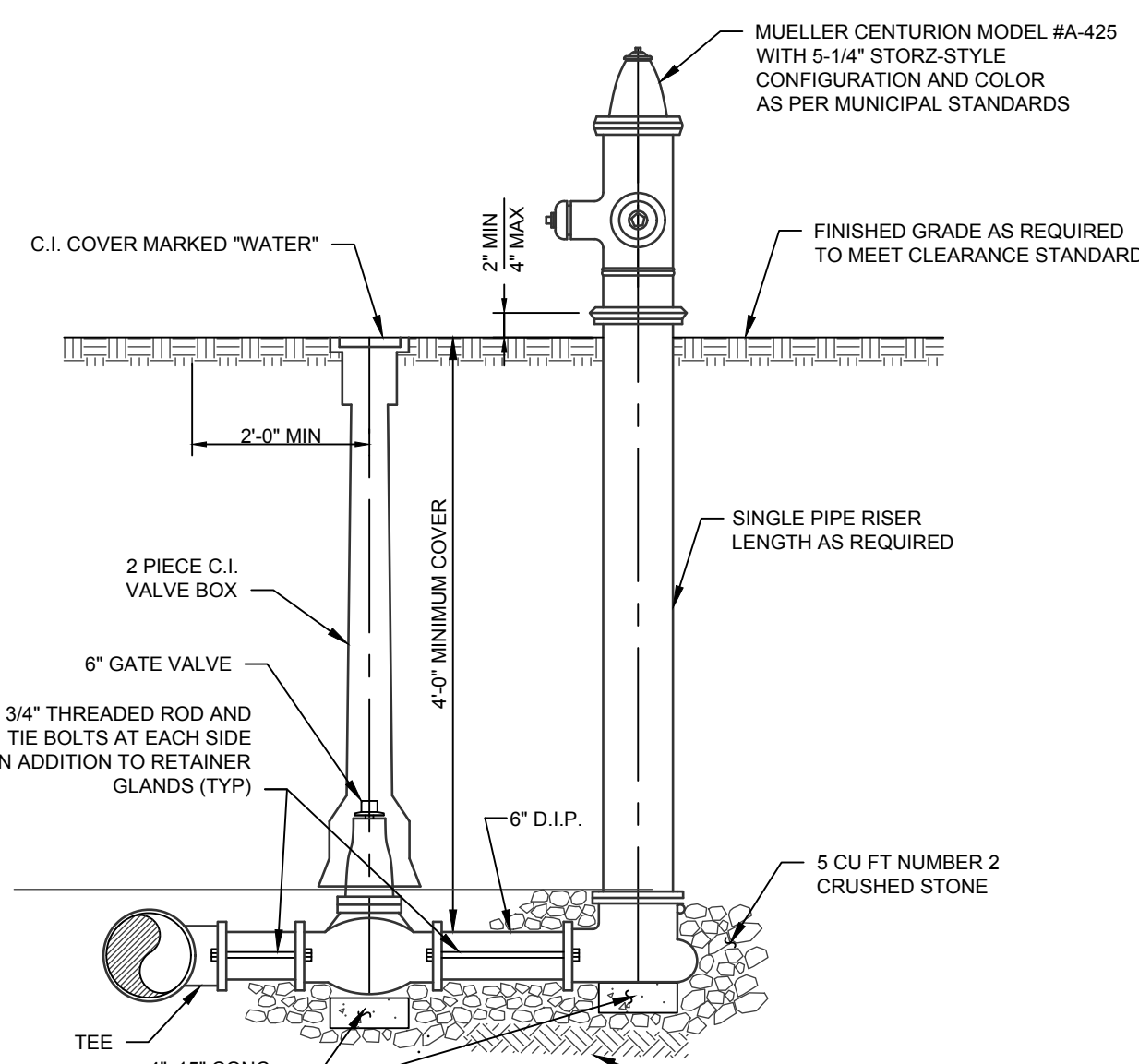
**SEWER SERVICE CONNECTION**  
SCALE: NTS



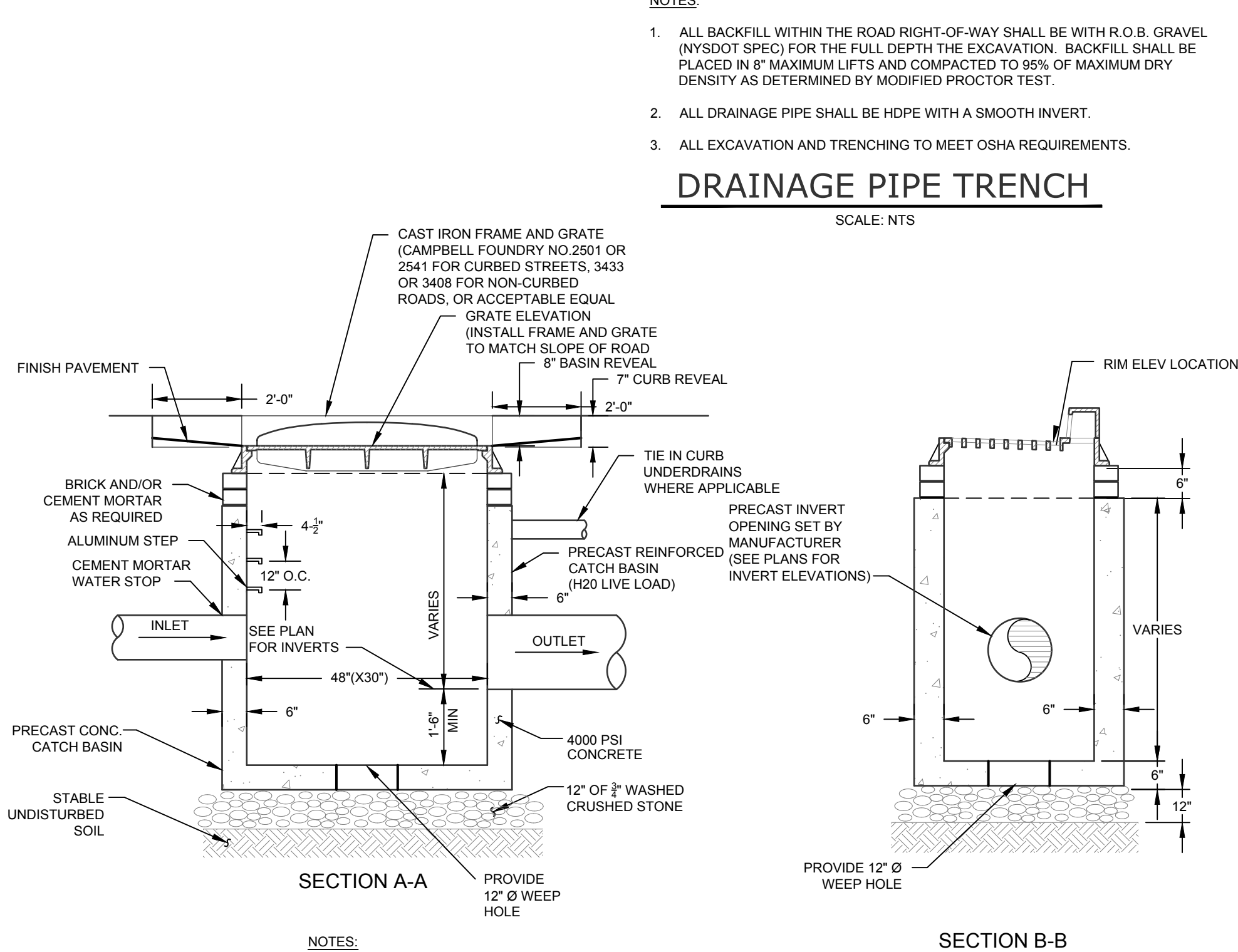
**DRAINAGE PIPE TRENCH**  
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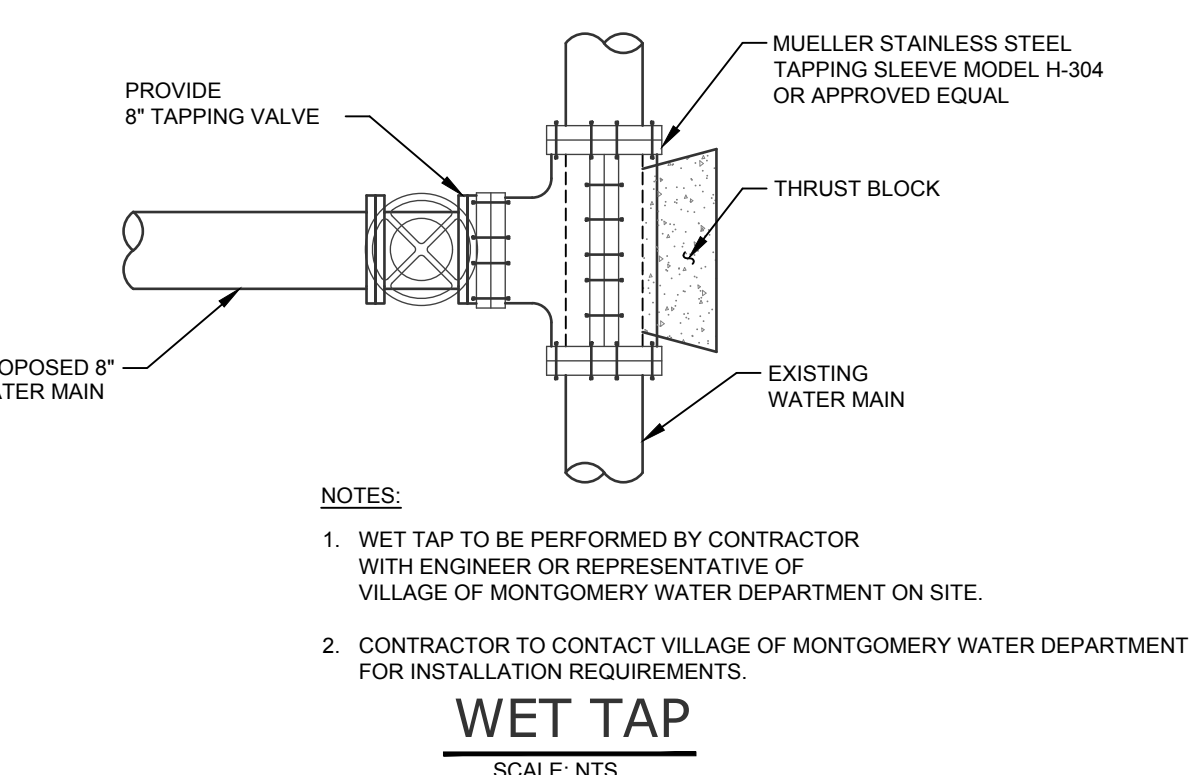
**DOMESTIC WATER SERVICE CONNECTION**  
SCALE: NTS



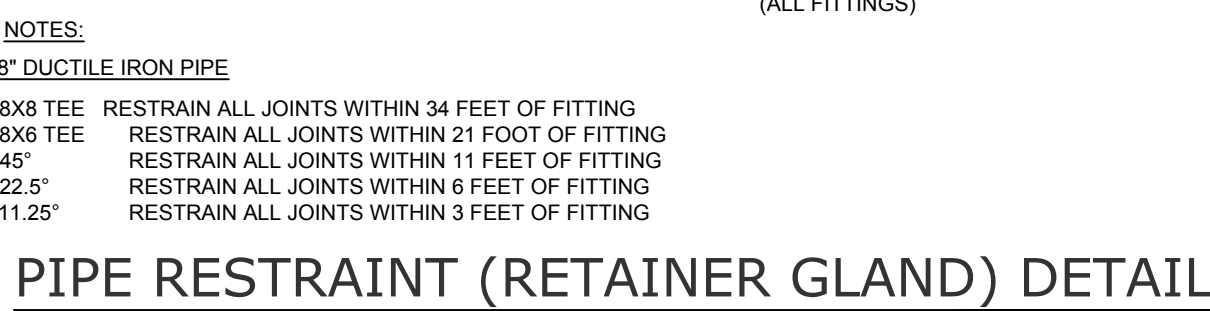
**HYDRANT AND HYDRANT VALVE**  
SCALE: NTS



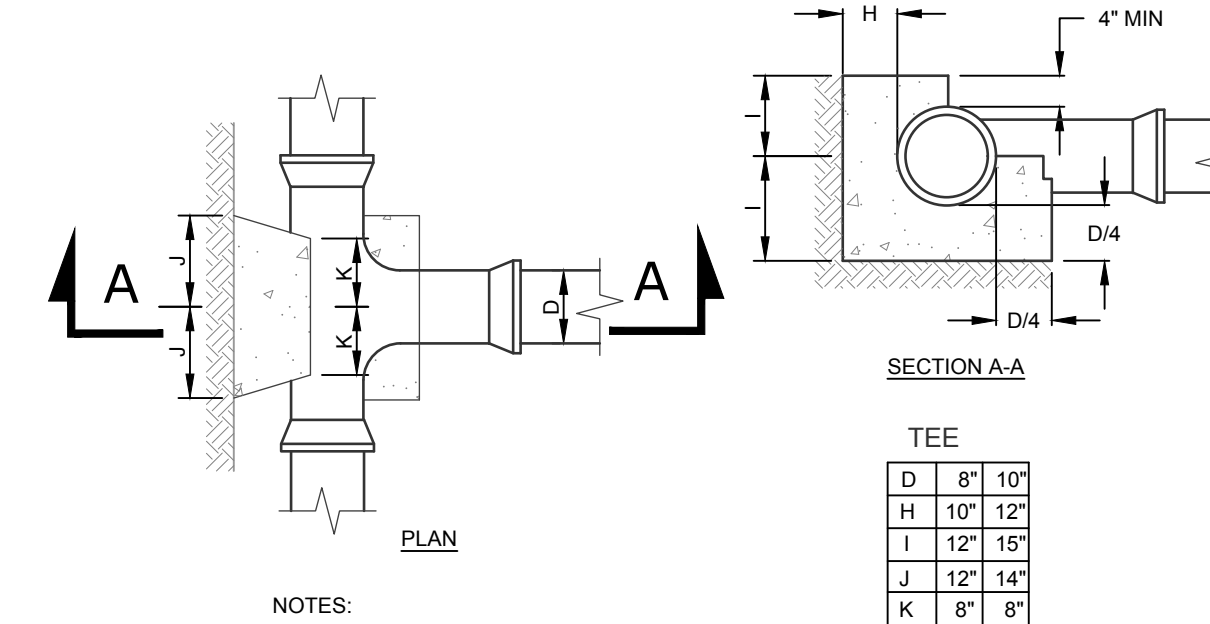
**CATCH BASIN**  
SCALE: NTS



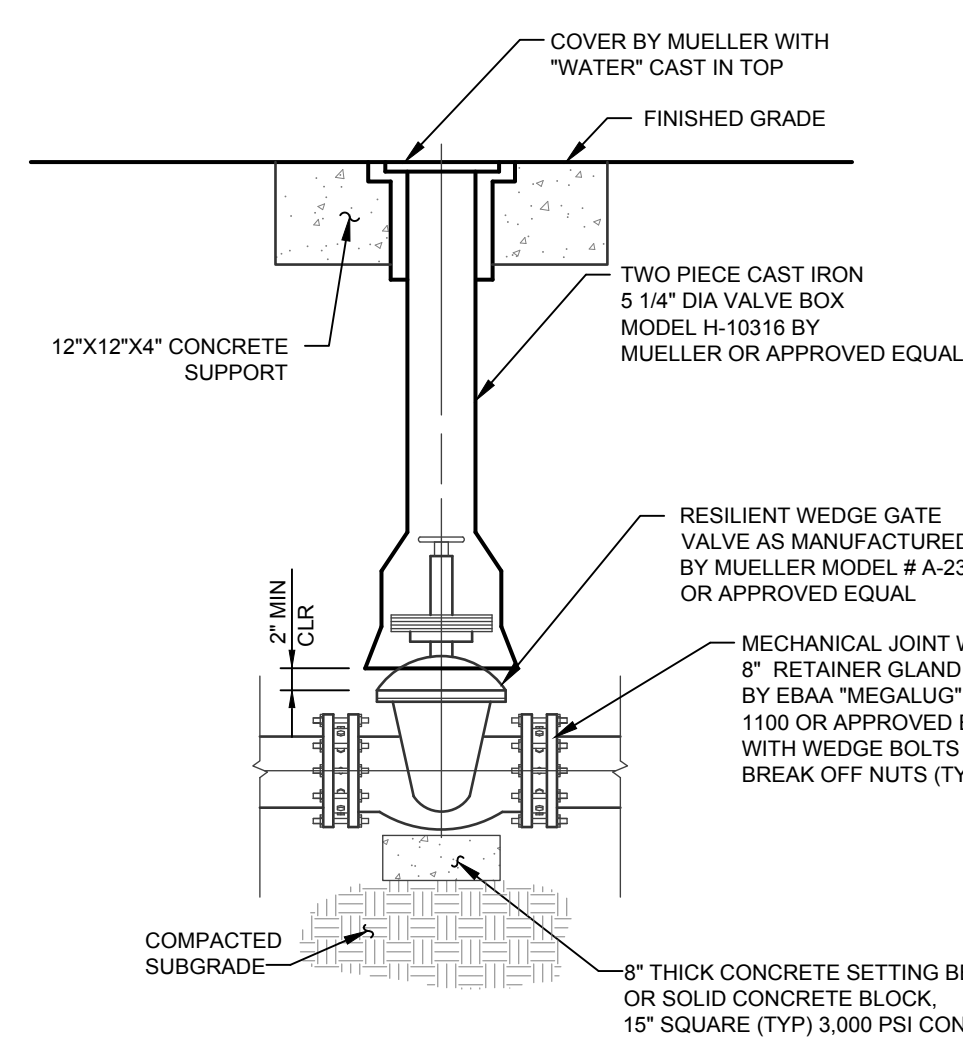
**WET TAP**  
SCALE: NTS



**PIPE RESTRAINT (RETAINER GLAND) DETAIL**  
SCALE: NTS



**THRUST BLOCK**  
SCALE: NTS

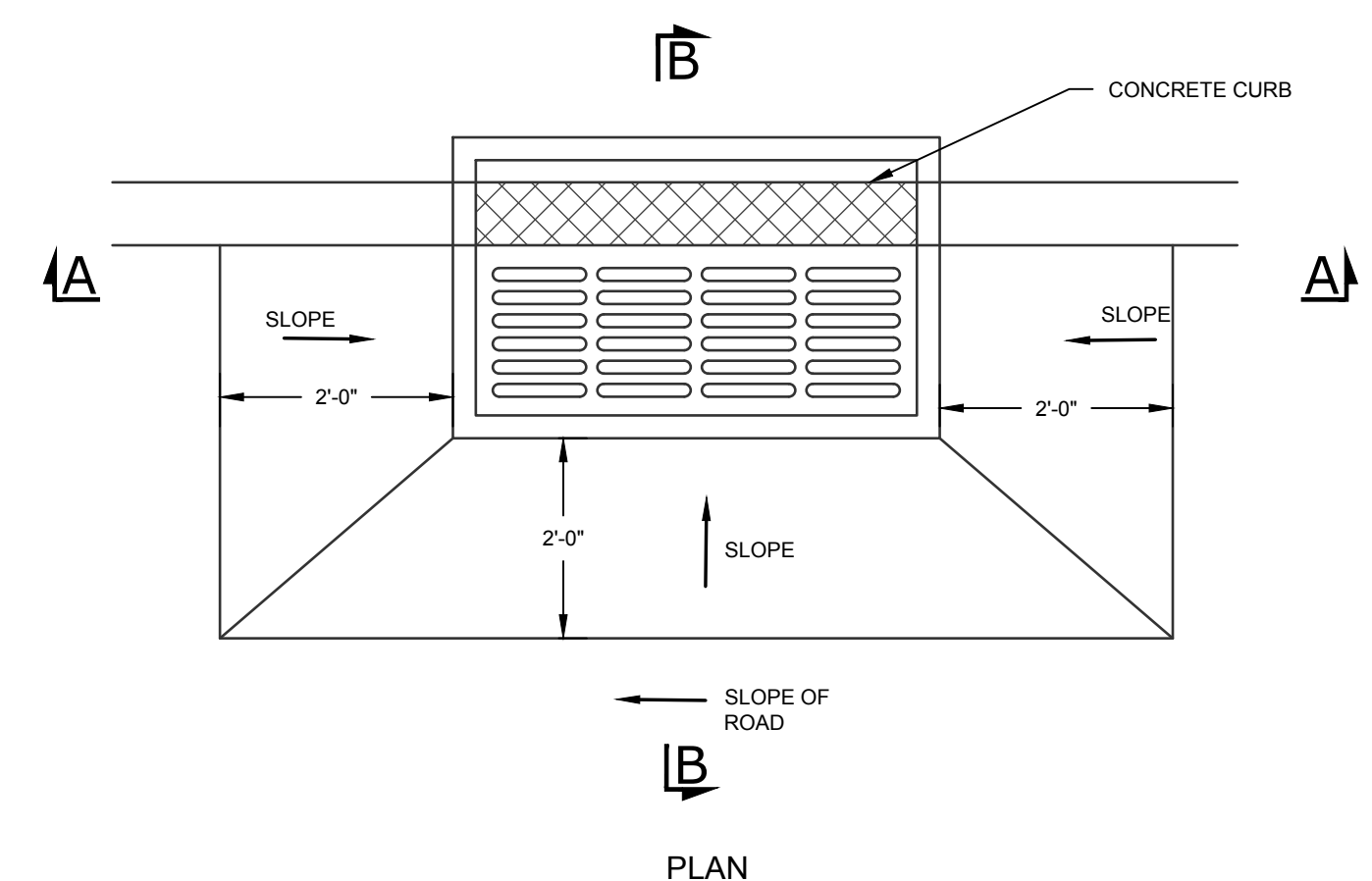


**VALVE AND VALVE BOX**  
SCALE: NTS

- NOTES:
- ALL VALVES TO INCLUDE MEGA-LUG RETAINER GLANDS AND BE ROODED BACK TO THE ADJACENT TEE IN THE WATERMAIN. INLINE VALVES NEED NOT BE ROODED. CONTRACTOR TO UTILIZE 1/2\"/>
  - WATERMAIN VALVES FOR FOUR INCH THROUGH FORTY EIGHT INCH SHALL BE RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MUELLER, MODEL #A-2360. VALVES SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE.
  - MAIN LINE VALVES TO BE SPACED TO NO FURTHER THAN 500 FEET APART IN COMMERCIAL DISTRICTS AND 800 FEET APART IN RESIDENTIAL DISTRICTS.

**WATER SYSTEM NOTES**

- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING WATER AND SEWER UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO CALL UNDERGROUND MARK-OUT AT LEAST 2 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT 1-800-962-7962 FOR COMPLETE UTILITIES MARKOUT.
- CONTRACTOR TO CONTACT VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS AT LEAST 2 DAYS PRIOR TO CONSTRUCTION.
- WATER MAIN 4\"/>
- CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY DEVIATION FROM HORIZONTAL OR VERTICAL ALIGNMENTS WITH REGARDS TO EXISTING UTILITIES BEFORE PROCEEDING.
- A CERTIFIED AS BUILT MAP OF THE WATER SYSTEM IMPROVEMENTS SHALL BE PROVIDED TO THE VILLAGE OF MONTGOMERY WATER DEPARTMENT BY A LICENSED DESIGN PROFESSIONAL.
- THIS PROJECT HAS DEMONSTRATED AN AVAILABLE FLOW OF 2.076 GALLONS PER MINUTE WHILE MAINTAINING A MINIMUM OF 20 PSI AT ALL POINTS IN THE DISTRIBUTION SYSTEM. THIS VALUE SHOULD BE COMPARED TO THE NEEDED FIRE FLOW (NFF) FOR THE PROPOSED CONSTRUCTION IN ACCORDANCE WITH THE INSURANCE SERVICES OFFICE (ISO) GUIDELINES. PER THE RECOMMENDED STANDARDS FOR WATER WORKS (NYS STATE CODE PART 5, APPENDIX 5-A), THE NEEDED FIRE FLOW FOR THE PROPOSED CONSTRUCTION IS 500 GPM AAS PER ISO GUIDELINES.
- ALL PIPE, FITTINGS AND FITTINGS MUST COMPLY WITH THE FEDERAL SAFE DRINKING WATER ACT, SECTION 1417 WHICH REQUIRES ALL SURFACES IN CONTACT WITH POTABLE WATER CONTAIN NO MORE THAN 0.25% LEAD BY WEIGHT.
- THE VILLAGE OF MONTGOMERY COMMISSIONER OF PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST BE INFORMED OF ANY HYDROSTATIC OR BACTERIOLOGICAL TESTING TO PERMIT THE TESTING TO BE WITNESSED.
- THE VILLAGE OF MONTGOMERY COMMISSIONER OR PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST ACCEPT HYDROSTATIC AND BACTERIOLOGICAL TEST RESULTS AS ADEQUATE.
- THE PROPOSED WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED WATERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



**PLAN**

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/14/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

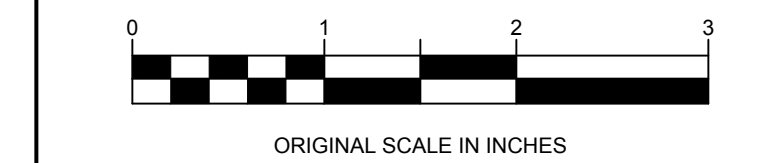
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THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	06/16/2023
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	13 OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 07101



**ENGINEERING PROPERTIES**  
Achieving Successful Results with Innovative Designs

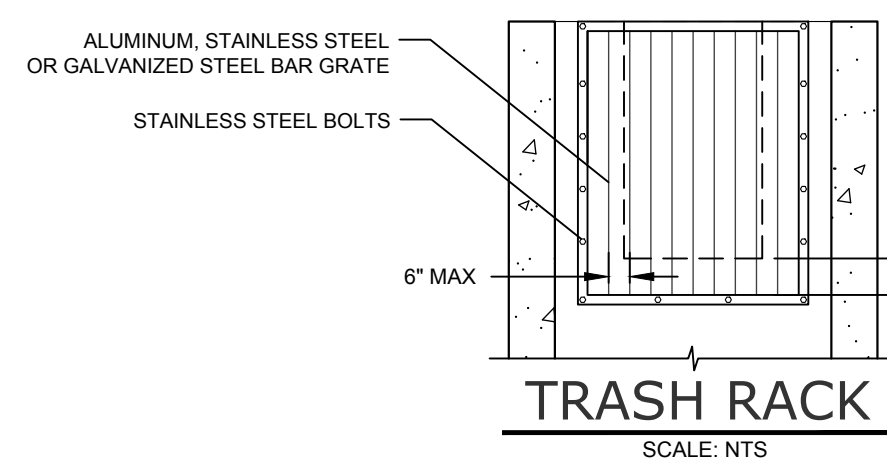
71 CLINTON STREET  
MONTGOMERY, NY 12549  
Ph: (845) 457-7727  
Fax: (845) 457-1899

**DETAILS**

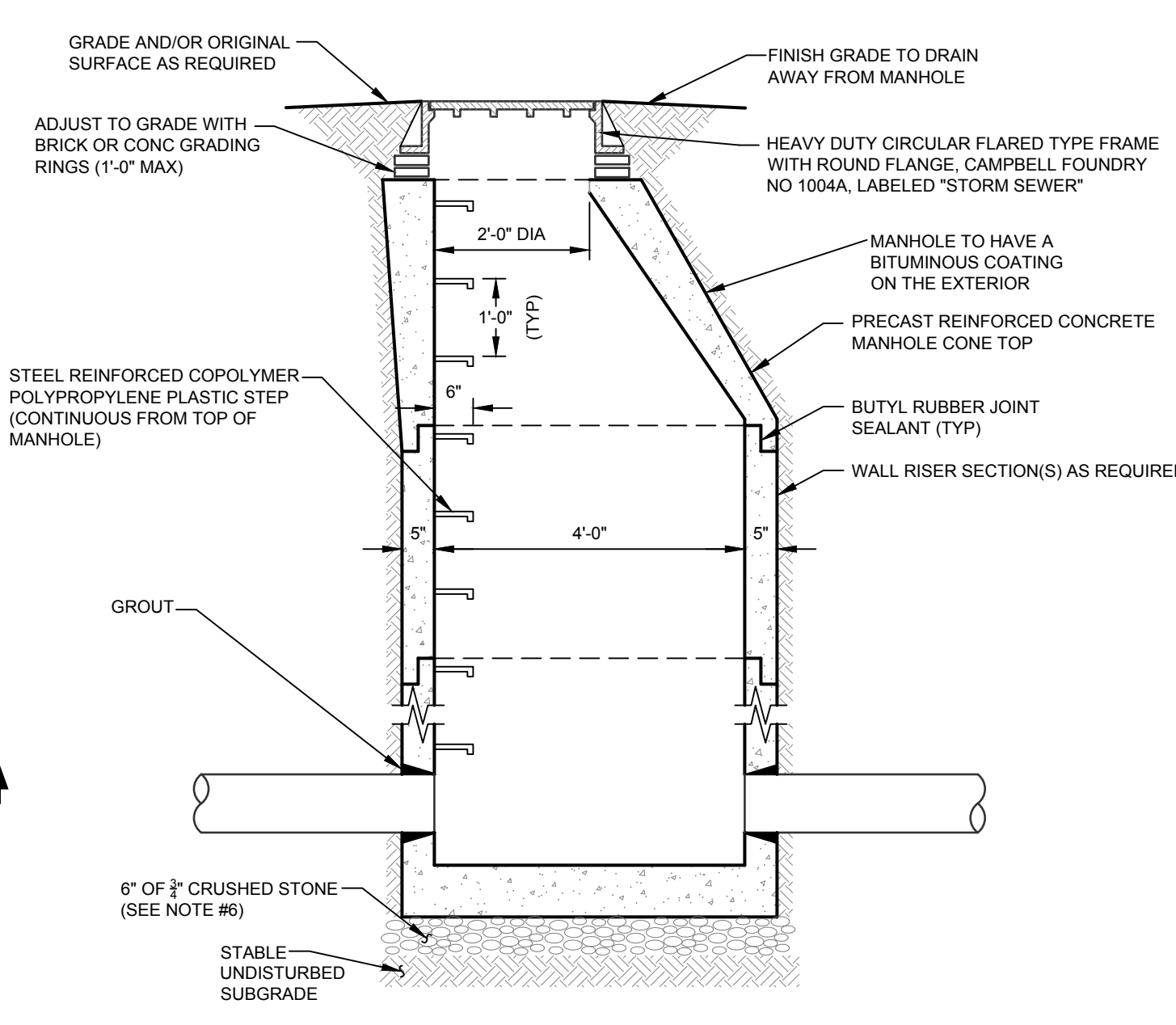
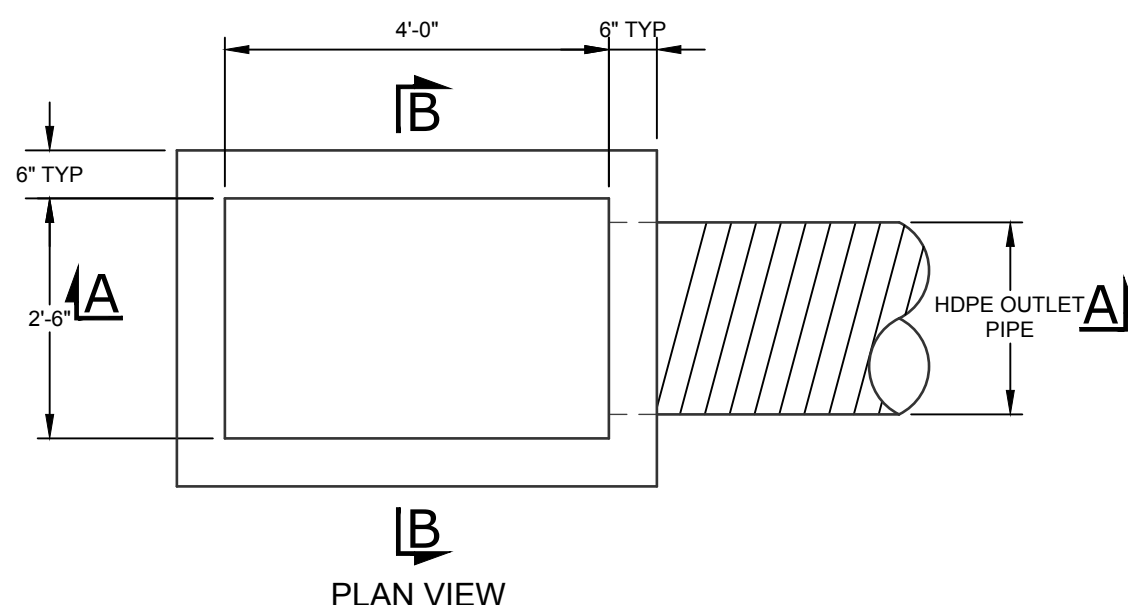
KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:
1281.01	ZS
DATE:	SCALE:
12/09/2021	AS NOTED
REVISION:	TAX LOT:
9 - 06/16/2023	211-1-29-22

**C-301**

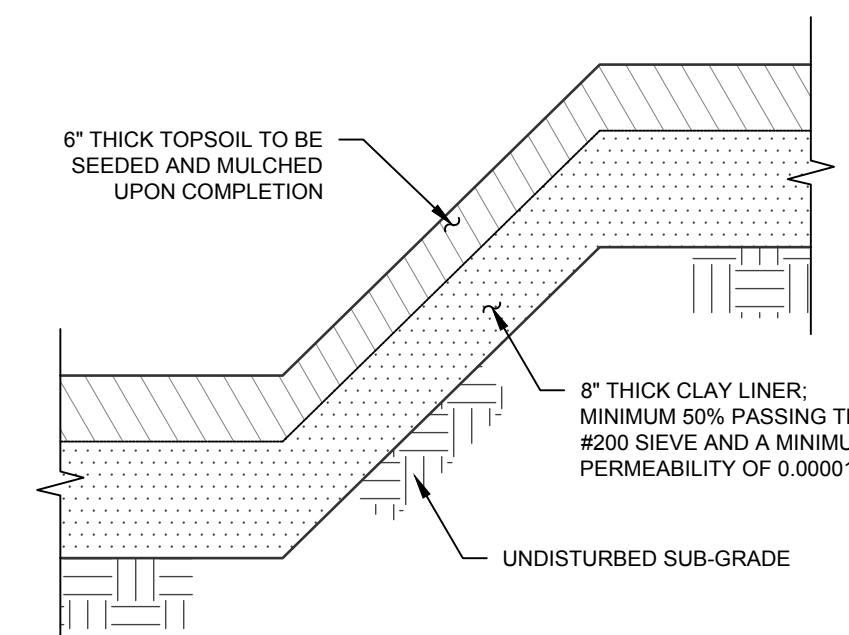


- NOTES:
1. BAR GRATE TRASH RACKS SHALL BE ALUMINUM, STAINLESS STEEL OR GALVANIZED STEEL, AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
  2. TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.



- NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
  2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
  3. CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
  4. ANY MANHOLE WITHIN PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADINGS.
  5. PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL.
  6. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

**DRAINAGE MANHOLE**  
SCALE: N.T.S.



- NOTES:
1. THE STORMWATER FOREBAYS SHALL INCLUDE A 6" MINIMUM CLAY LINER OR AN IMPERMEABLE LINER THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.
- CLAY LINER:**
- PERMEABILITY: 1 x 10<sup>-8</sup> CM/S (ASTM D 5084)
  - PLASTICITY INDEX OF SOILS: ≥ 15% (ASTM D 4316)
  - LIQUID LIMIT OF SOILS: ≥ 30% (ASTM D 4316)
  - PASSING OF 200 SIEVE: ≥ 50% (ASTM D 422)
  - MAXIMUM PARTICLE SIZE: 2"
  - COMPACTION: ≥ 95% OF MAXIMUM DRY DENSITY (ASTM D 1557) OR 3.0% OF OPTIMUM MOISTURE CONTENT (ASTM D 1557)
- ALTERNATIVE IMPERMEABLE LINER**
- MINIMUM THICKNESS: 30 MILL (ASTM D 751)
  - TENSILE STRENGTH: 1,100 LBS (ASTM D 412)
  - ELONGATION: 200% (ASTM D 412)
  - TEAR RESISTANCE: 160 LBS/IN (ASTM D 624)
  - PERMEABILITY: 1 x 10<sup>-3</sup> CM/S (ASTM D 814)

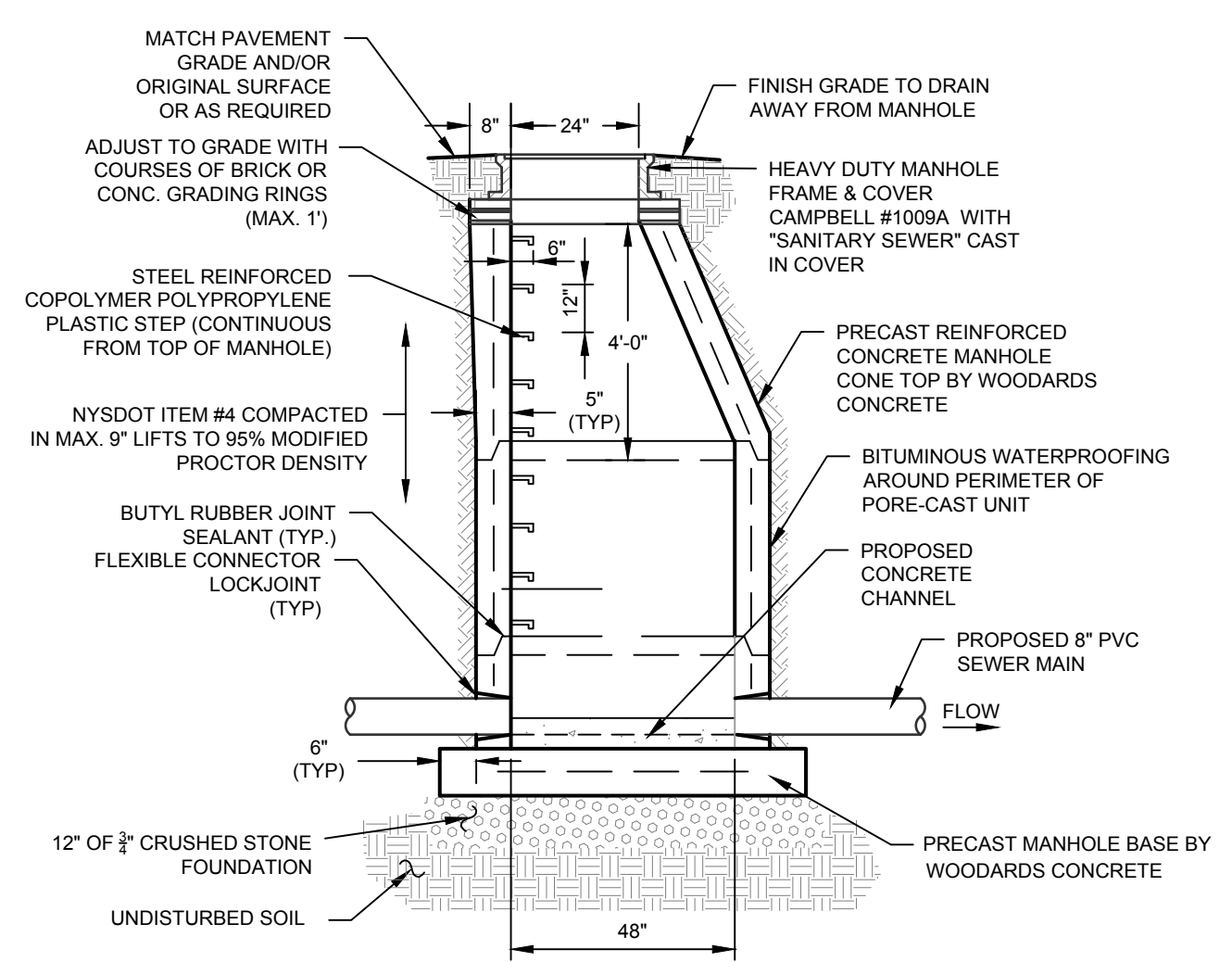
**CLAY FOREBAY POND LINER**  
SCALE: N.T.S.

**INFILTRATION TEST RESULTS**

TEST HOLE #	TEST HOLE DEPTH	TEST HOLE DIA.	TIME	INFILTRATION TEST RUNS (WATER DROP IN INCHES OVER ONE HOUR)				AVERAGE DROP
				START	FINISH	DROP	DROP	
02/16/22 IT-01	6'	8"	START	8:47 AM	9:38 AM	10:46 AM	11:54 AM	> 24"
			FINISH	9:38 AM	10:36 AM	11:40 AM	12:19 PM	
02/16/22 IT-02	2'	8"	START	9:11 AM	10:11 AM	11:11 AM	12:11 PM	15.50"
			FINISH	10:11 AM	11:11 AM	12:11 PM	1:11 PM	
02/16/22 IT-03	10'	8"	START	9:40 AM	10:40 AM	11:40 AM	12:40 AM	> 24"
			FINISH	10:40 AM	11:40 AM	12:40 PM	1:40 PM	
02/16/22 IT-04	10'	8"	START	10:15 AM	10:45 AM	11:42 AM	12:08 PM	> 24"
			FINISH	10:45 AM	11:42 AM	12:08 PM	12:14 PM	
02/16/22 IT-05	2'	8"	START	12:10 PM	1:10 PM	2:10 PM	3:10 PM	10.50"
			FINISH	1:10 PM	2:10 PM	3:10 PM	4:10 PM	
02/16/22 IT-06	8'	8"	START	12:05 PM	1:05 PM	1:50 PM	2:15 PM	> 24"
			FINISH	1:05 PM	1:50 PM	2:15 PM	2:23 PM	
02/16/22 IT-07	16'	8"	START	1:56 PM	2:11 PM	2:48 PM	3:20 PM	> 24"
			FINISH	2:11 PM	2:48 PM	3:20 PM	3:38 PM	
02/16/22 IT-08	16'	8"	START	2:39 PM	2:51 PM	3:22 PM	3:36 PM	> 24"
			FINISH	2:51 PM	3:32 PM	3:36 PM	3:41 PM	

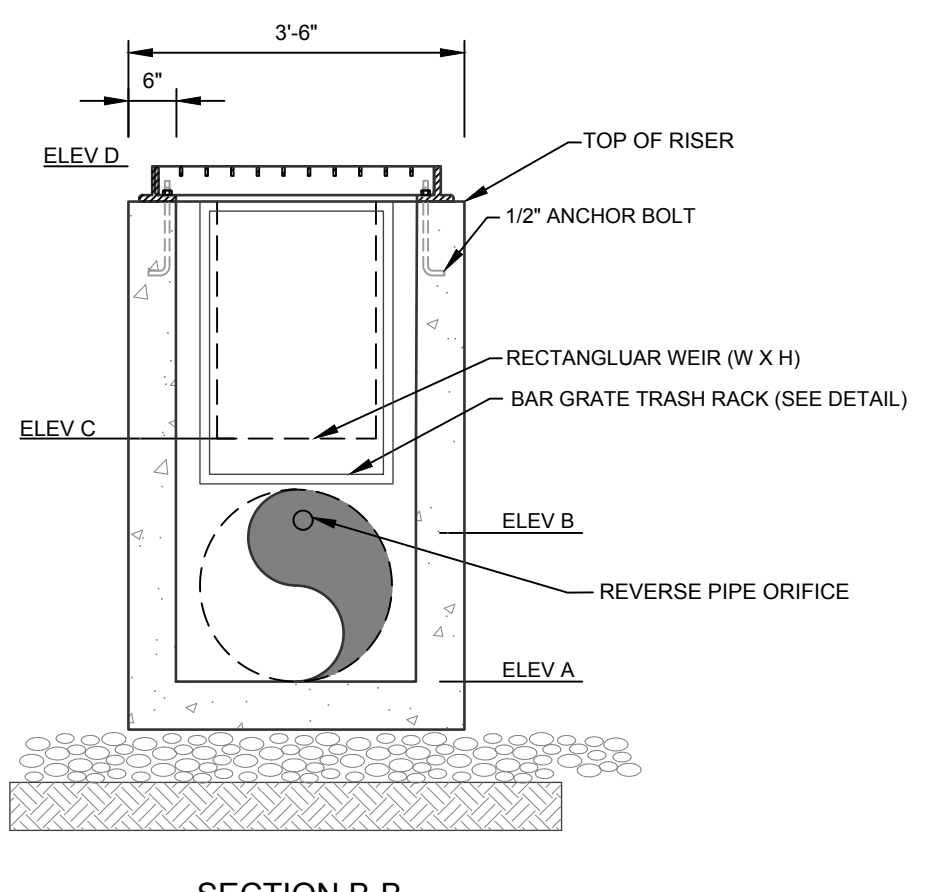
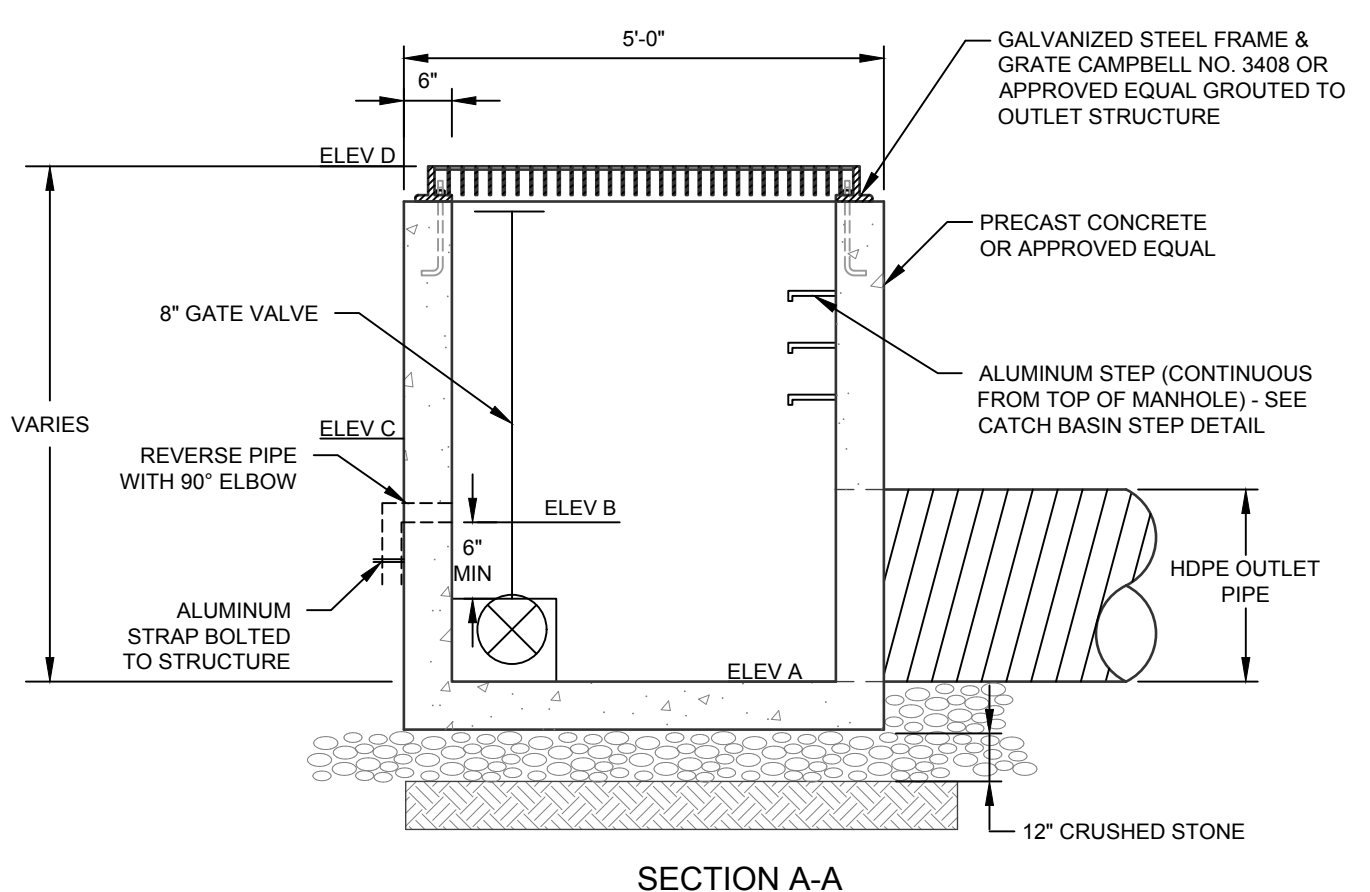
**DEEP TEST HOLE RESULTS**

TEST HOLE #	DATE	DEPTH	DESCRIPTION
INF 01	02/16/2022	0' - 0"	TOPSOIL
		0' - 5"	TAN SANDY LOAM
		5' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 02	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
		6' - 12"	GRAVEL
INF 03	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY LOAM
		3' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 04	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY LOAM
		3' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 05	02/16/2022	0' - 6"	TOPSOIL
		6' - 6"	TAN SILTY CLAY LOAM WATER AT 4' - NO MOTTLING, NO ROCK
		6' - 6"	GRAVEL
INF 06	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM
		4' - 11"	TAN SILTY LOAM WITH GRAVEL WATER AT 11' - NO MOTTLING, NO ROCK
INF 07	02/16/2022	0' - 4"	TOPSOIL
		4' - 3"	TAN SILTY CLAY LOAM
		3' - 8"	BROWN SILTY LOAM BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 08	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY CLAY LOAM
		3' - 8"	BROWN LOAM BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK



- NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
  2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
  3. ALL MANHOLE SECTIONS TO CONFORM WITH ASTM SPECIFICATION C-478.
  4. ALL MANHOLES WITHIN PAVEMENT AREAS SHALL BE DESIGNED TO WITHSTAND HS-20 LOADING.

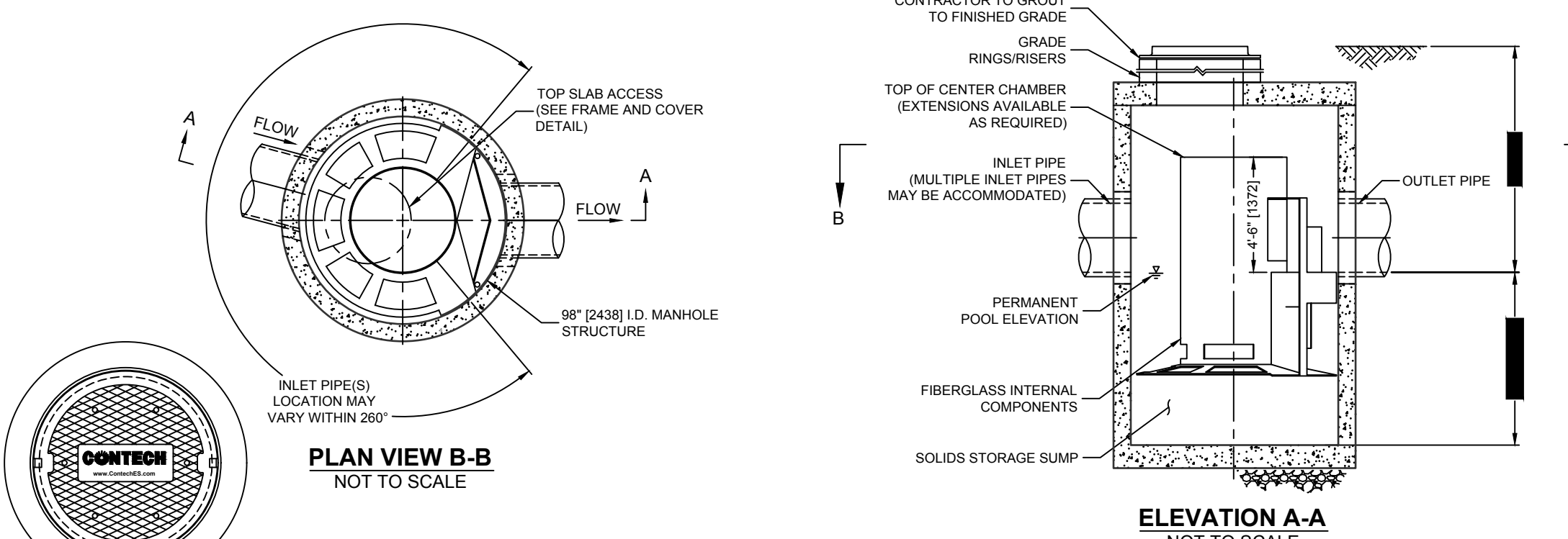
**SEWER MANHOLE**  
SCALE: N.T.S.



POND	CULVERT / ORIFICES		WEIR ELEV C (132/27)	GRATE ELEV D	SPILLWAY ELEVATION	SPILLWAY LENGTH
	ELEV A (B)	ELEV B (D)				
INFILTRATION BASIN (OS A1)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A2)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A3)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A4)	377.00 (18")	N/A	N/A	379.00	N/A	N/A

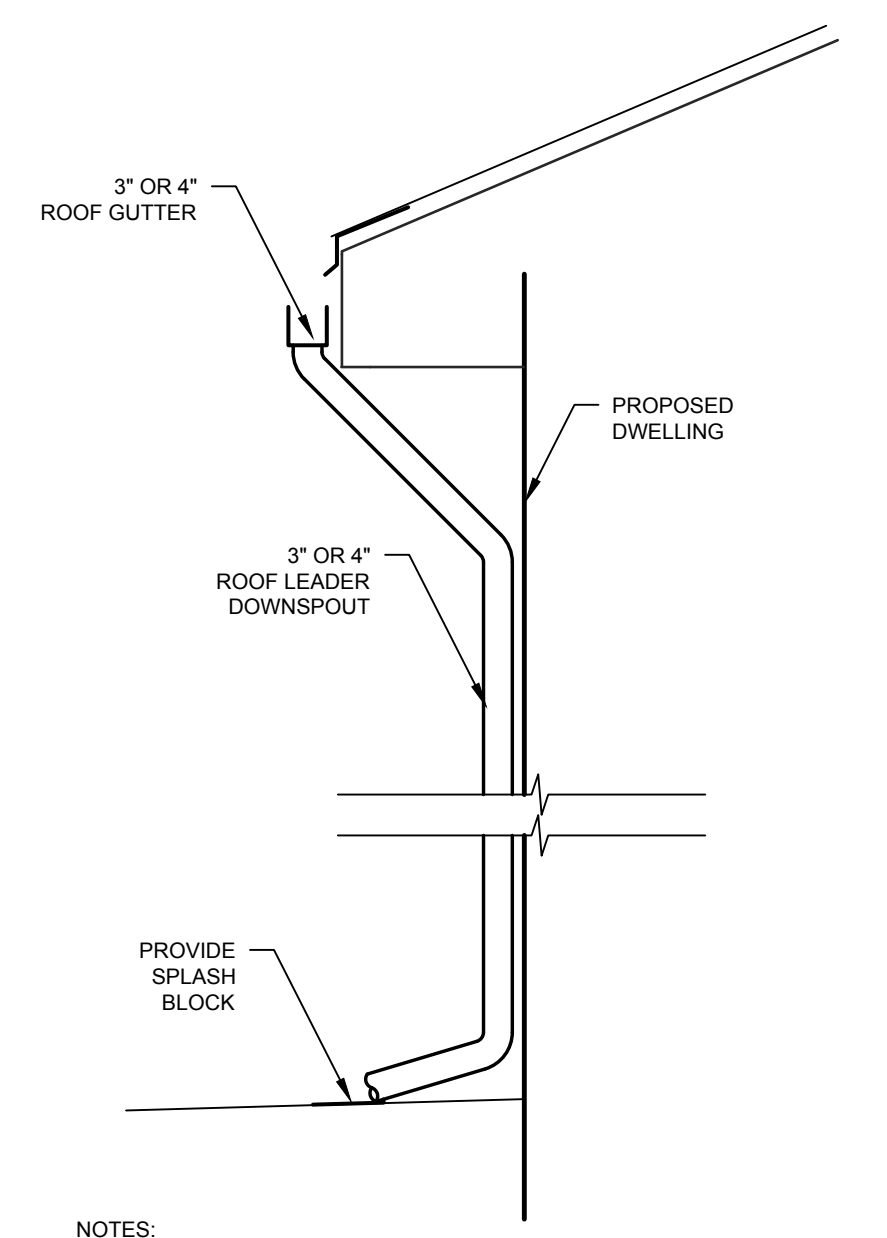
**OUTLET/DIVERSION STRUCTURE(S)**  
SCALE: N.T.S.

- NOTES:
1. FOR LENGTH AND SLOPE OF OUTLET PIPE SEE PLAN.



- GENERAL NOTES:
1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. FOR SITE SPECIFIC DRAINAGES WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE, [www.contechES.com](http://www.contechES.com)
  3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20-108 LOAD RATING, ASSUMING EARTH COVER OF 0 - 2' B10, AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM G478 AND AASHTO LOAD FACTOR DESIGN METHOD.
  6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm)
- INSTALLATION NOTES:
- A. ANY SUB-BASE, EXCAVATION DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
  - C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH CASCADE CS-8 HYDRODYNAMIC SEPARATOR**  
SCALE: N.T.S.



- NOTES:
1. IN ACCORDANCE WITH NYSDEC STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL REAR ROOF LEADER DOWNSPOUTS SHALL DISCHARGE EFFLUENT ALONG THE SURFACE FOR INFILTRATION.
  2. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED.
  3. HOMEOWNERS ASSOCIATION SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

**ROOF LEADER AND SPLASH BLOCK**  
SCALE: N.T.S.



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4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/14/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		06/16/2023
		SHEET NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	14 OF 16
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 071701

ORIGINAL SCALE IN INCHES

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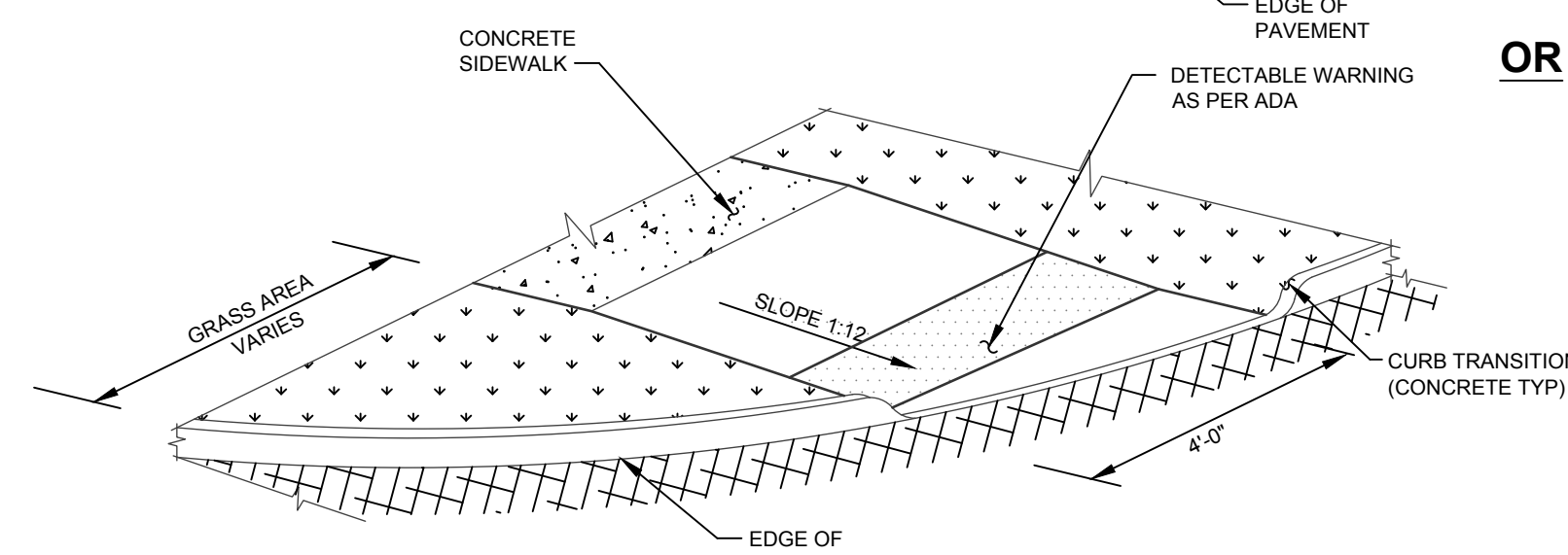
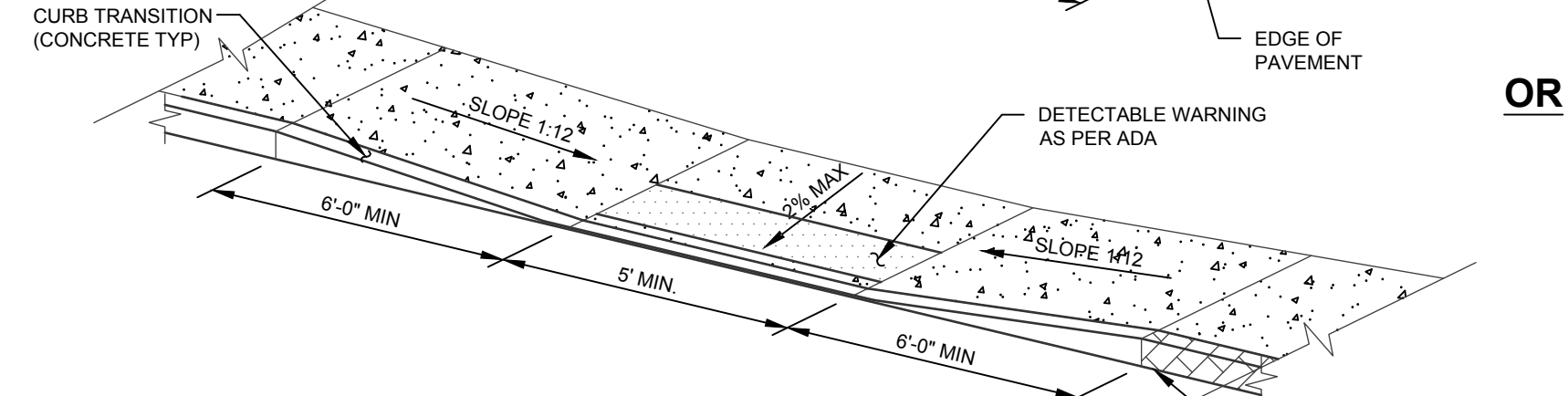
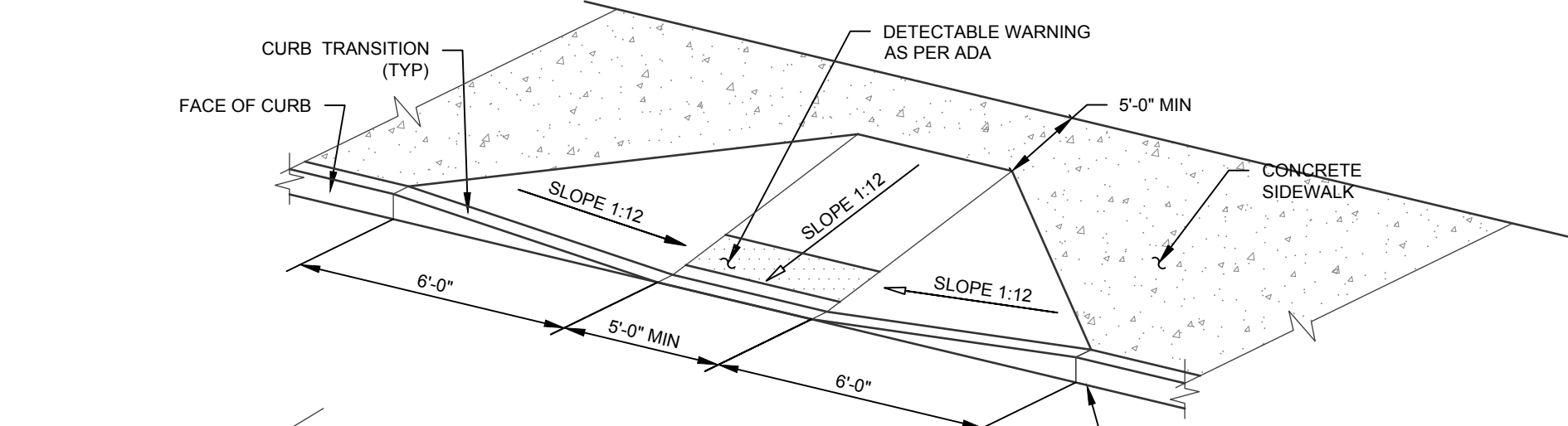
**DETAILS**

KSH ROUTE 211 DEVELOPMENT  
UNION STREET  
VILLAGE OF MONTGOMERY  
ORANGE COUNTY, NEW YORK

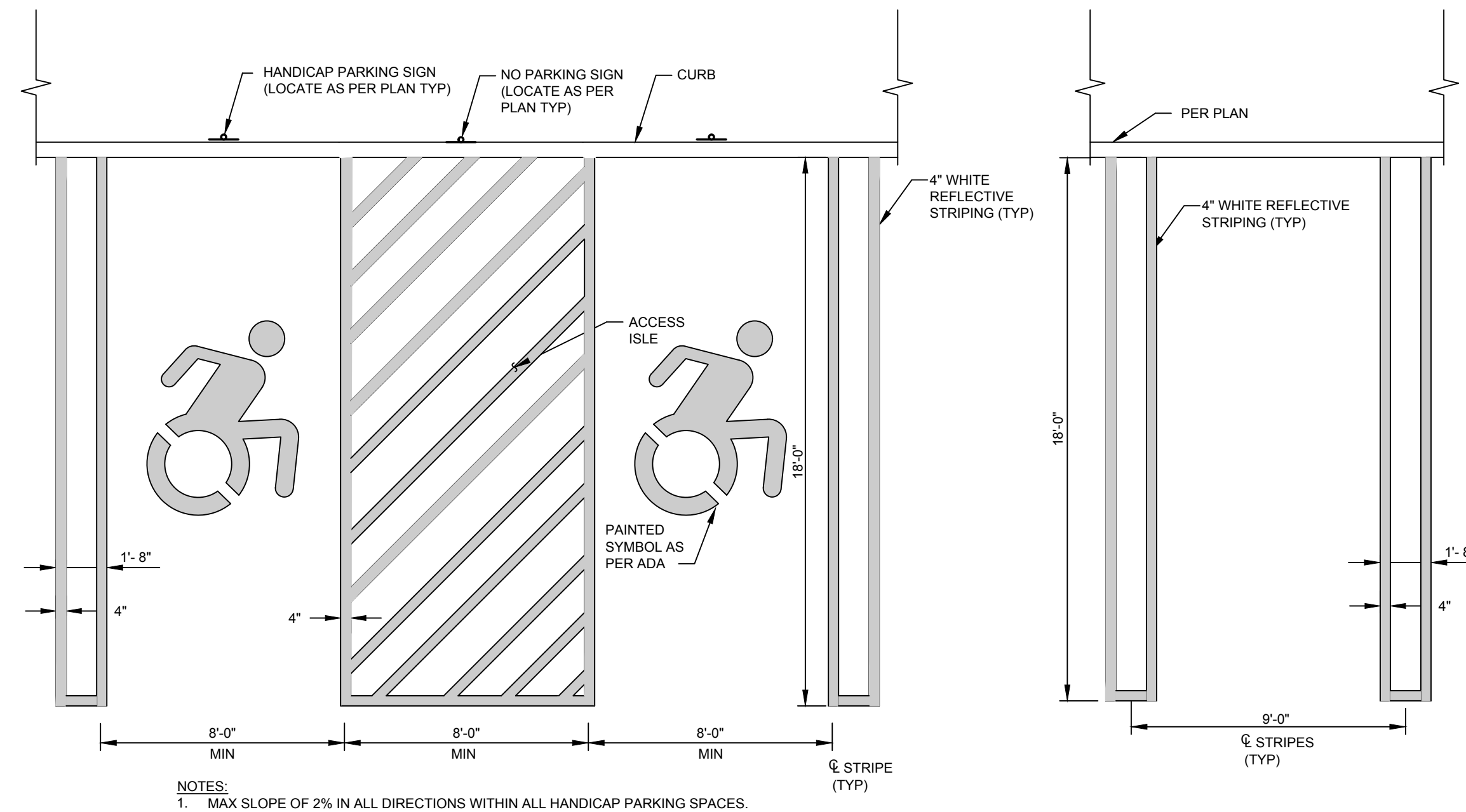
JOB #: 1281.01  
DRAWN BY: ZS  
DATE: 12/09/2021  
SCALE: AS NOTED  
REVISION: 9 - 06/16/2023  
TAX LOT: 211-1-29-22

**C-302**



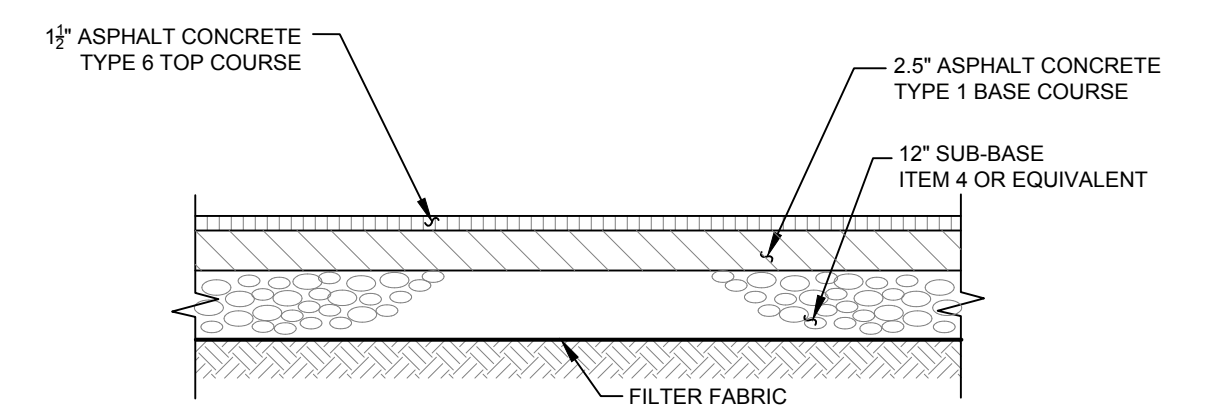


**HANDICAMP RAMP**  
SCALE: N.T.S.

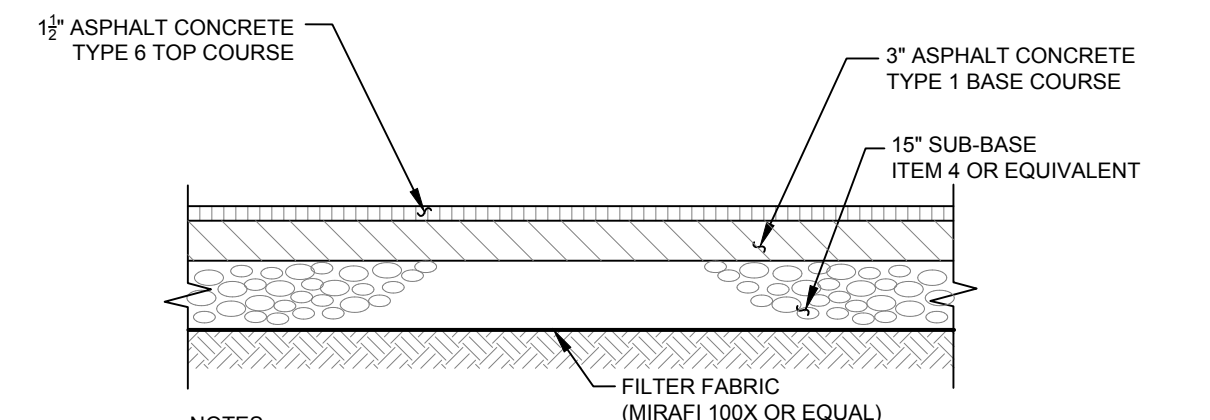


**HANDICAP PARKING SPACES**  
SCALE: N.T.S.

**PARKING SPACE**  
SCALE: N.T.S.



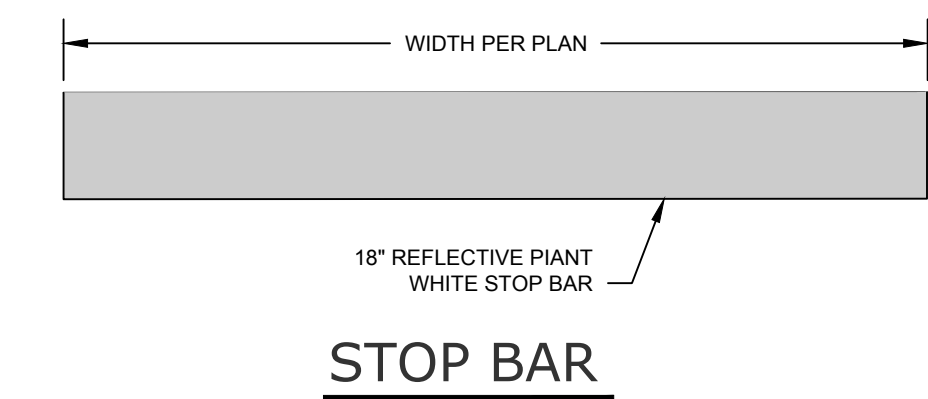
**PARKING PAVEMENT SECTION**  
SCALE: N.T.S.



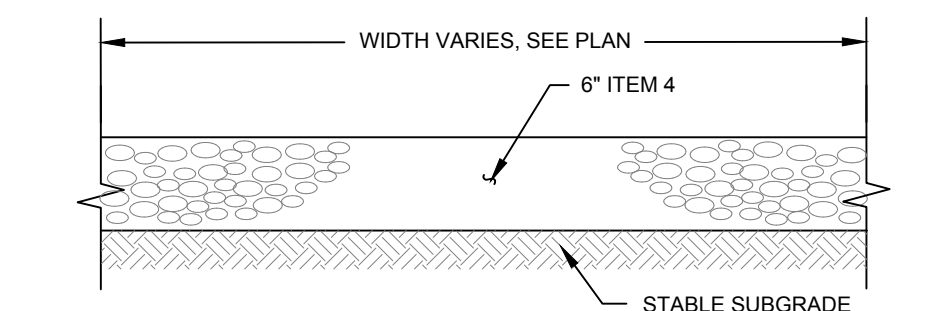
**ROADWAY PAVEMENT SECTION**  
SCALE: N.T.S.

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
NP	NO PARKING ANY TIME	P1-1C	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
STOP	STOP	R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC	RESERVED PARKING FOR HANDICAPPED	M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING
NTT	NO TRUCK TRAFFIC	R14-3RA9	18" x 24"	GR MTD	WHITE BACKGROUND BLACK LETTERING
NLT	NO LEFT TURN FOR TRUCKS	K2-0783	30" x 30"	GR MTD	WHITE BACKGROUND RED & BLACK SYMBOL BLACK LETTERING
→	ALL TRUCKS	K2-0782-L	18" x 24"	GR MTD	WHITE BACKGROUND BLACK SYMBOL BLACK LETTERING
FL	NO PARKING FIRE LANE	R8-31	18" x 24"	GR MTD	WHITE BACKGROUND RED LETTERING

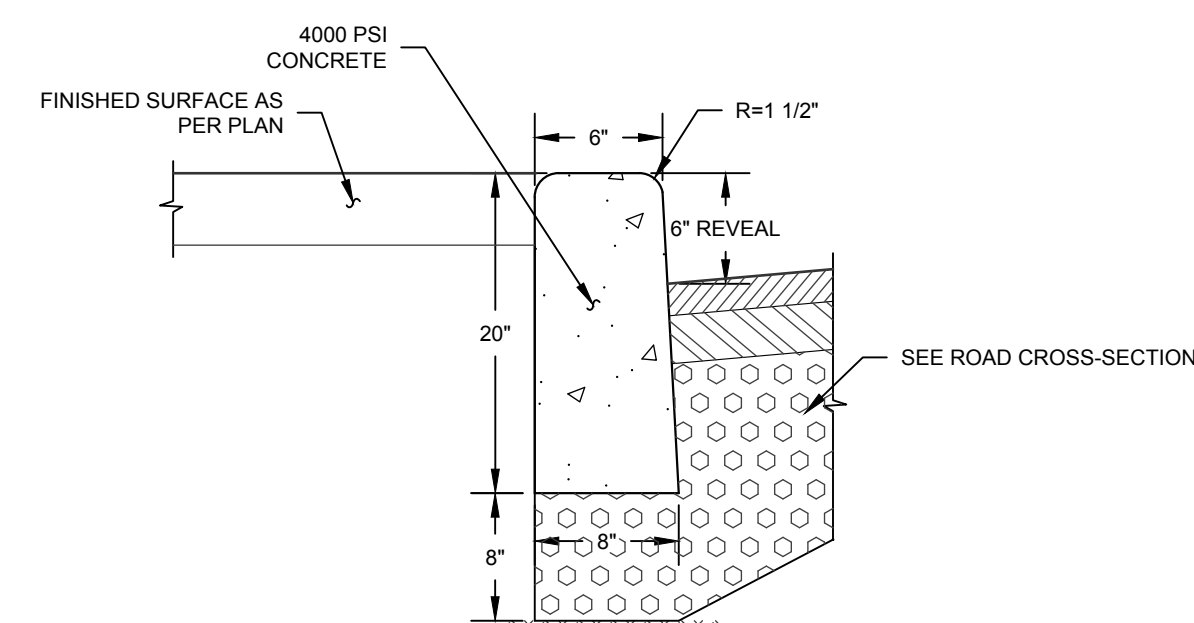
**SIGN SCHEDULE**  
SCALE: N.T.S.



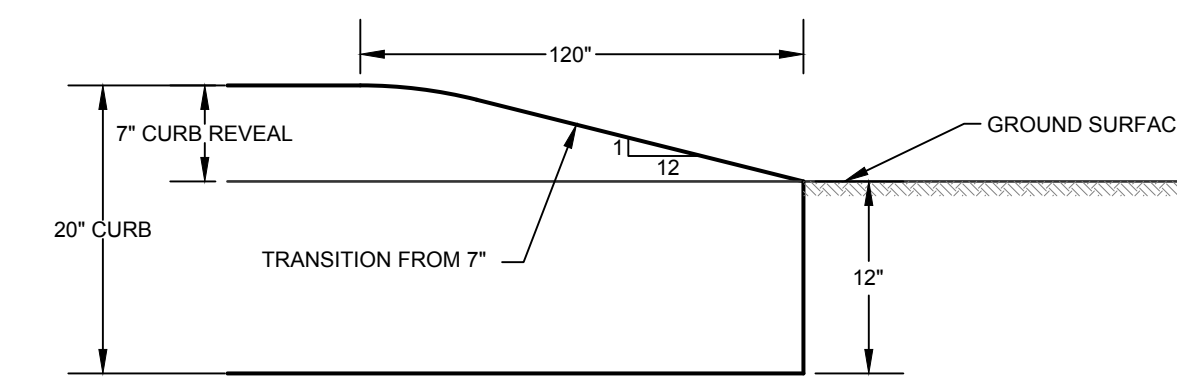
**STOP BAR**  
SCALE: N.T.S.



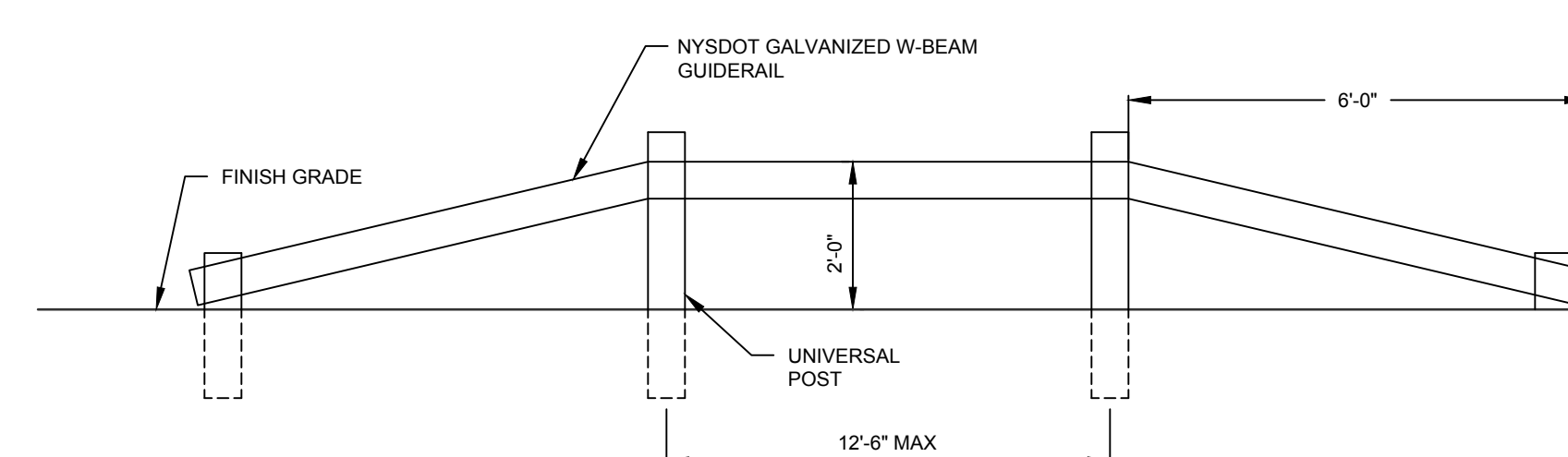
**GRAVEL POND ACCESS SECTION**  
SCALE: N.T.S.



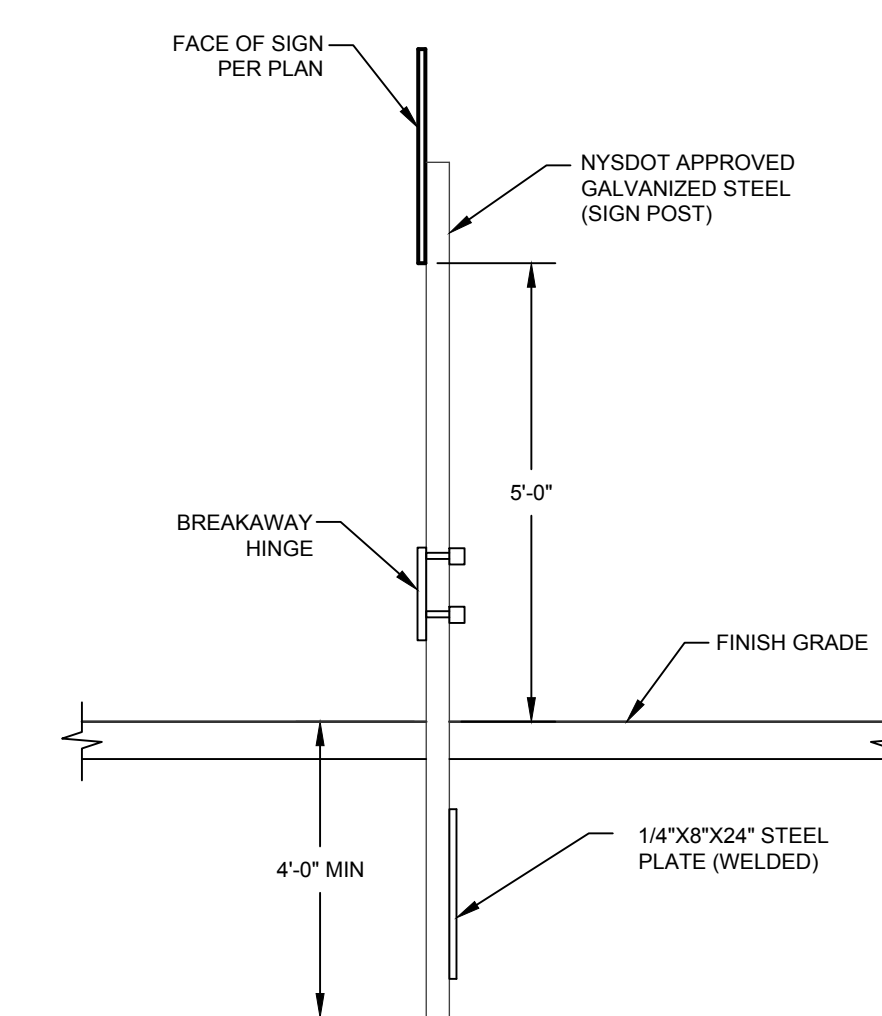
**CONCRETE CURB**  
SCALE: N.T.S.



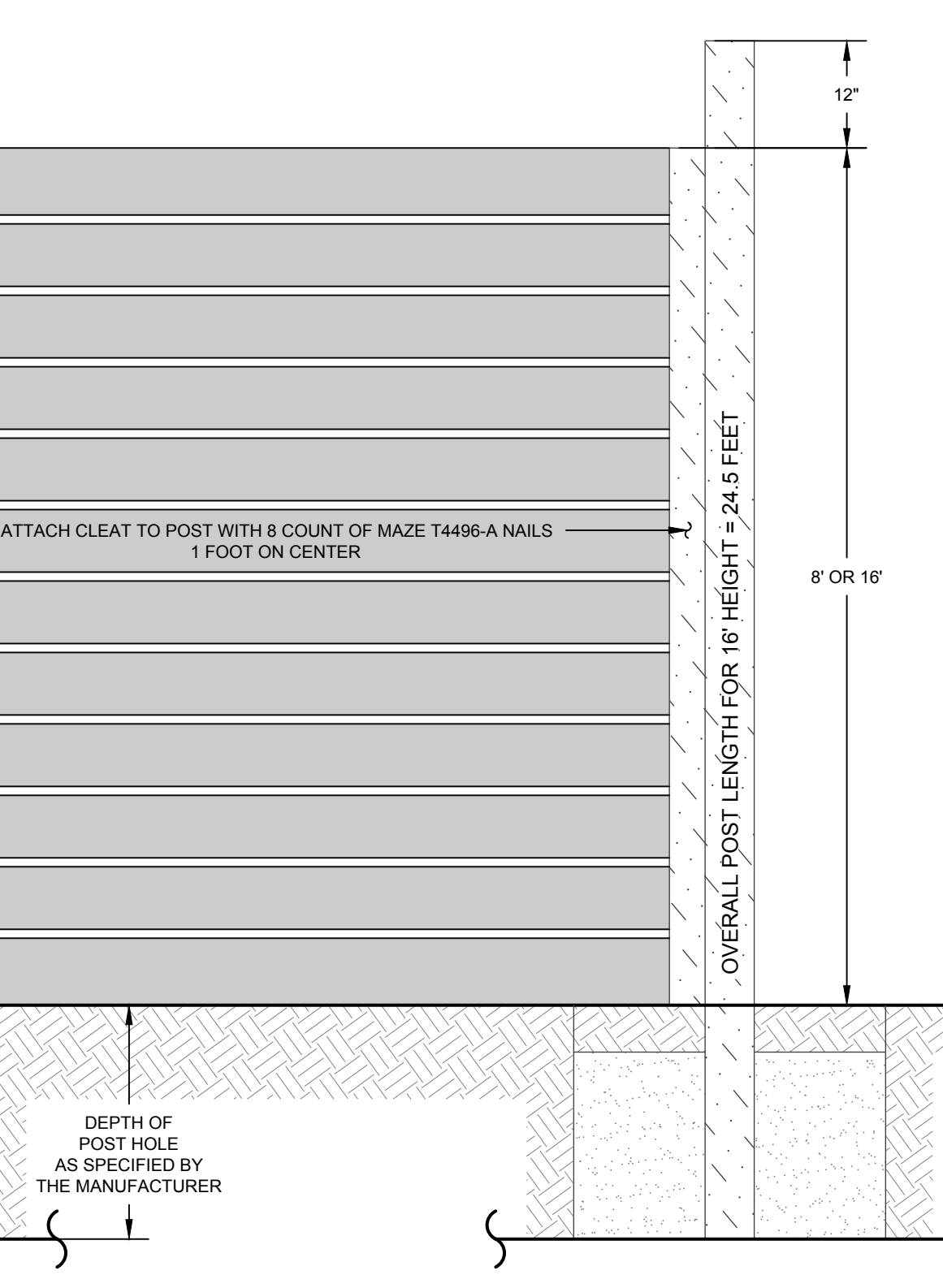
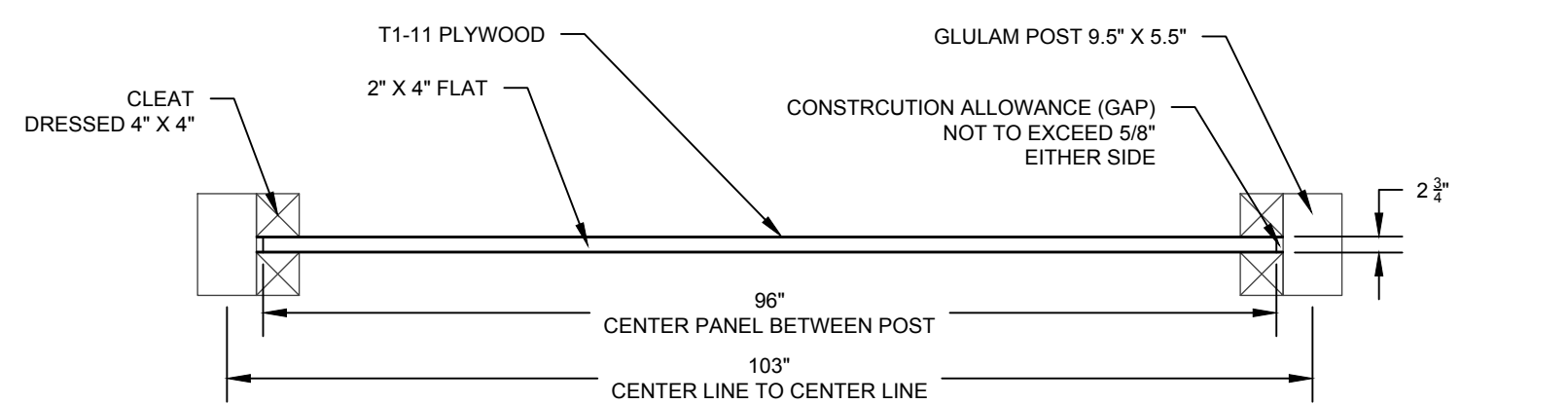
**CONCRETE CURB TERMINATION**  
SCALE: N.T.S.



**NYS DOT W-BEAM GUIDE RAIL**  
SCALE: N.T.S.



**SIGN POST**  
SCALE: N.T.S.



**PLYWALL @ SOUND BARRIER**  
SCALE: N.T.S.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/14/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS	ISSUE DATE
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	06/16/2023
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	16 OF 16
OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
NYSDEC APPROVAL	N/A OF N/A
NYSOT APPROVAL	N/A OF N/A
OTHER	N/A OF N/A
FOR BID	N/A OF N/A
FOR CONSTRUCTION	N/A OF N/A

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**C-304**