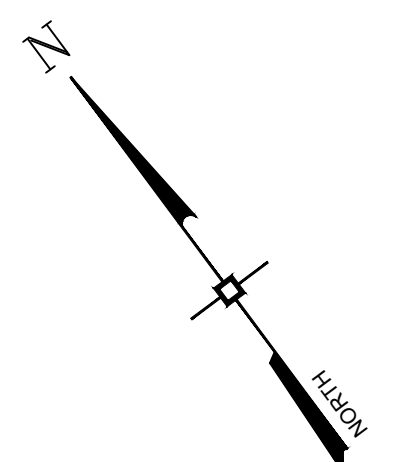


LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT BOUNDARY
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE
	CURB LINE		EXISTING BUILDING LINE
	MUNICIPAL BOUNDARY		EXISTING CURB LINE
	GRAVEL DRIVEWAY LINE		EXISTING EDGE OF PAVEMENT LINE
	EASEMENT LINE		LIMIT OF ACOE WETLAND
	BUILDING SETBACK LINES		EXISTING CHAINLINK FENCE LINES
	GUDERRAIL LINES		EXISTING STOCKADE FENCE LINES
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES
	PARKING STALL STRIPE		
	PARKING PAVEMENT SECTION		
	EDGE OF SIDEWALK LINES		
	LIMIT OF WETLAND MITIGATION LINE		
	PROPERTY LINE		
	STRIPING LINE		



BULK REQUIREMENTS

VILLAGE OF MONTGOMERY - ZONING DISTRICT I-1 & I-2
PROPOSED USE: WAREHOUSE / OFFICE

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	40,000 SF	± 1,475,484 SF
LOT WIDTH	150 FEET	869.1 FEET
FRONT YARD ABUTTING RESIDENTIAL *	120 FEET	329.2 FEET
REAR YARD	50 FEET	59.1 FEET
SIDE YARD (ONE / BOTH)	30 / 60 FEET	86.0 / 419.5 FEET
SIDE YARD ABUTTING RESIDENTIAL *	100 FEET	333.5 FEET
MAXIMUM ALLOWABLE		
BUILDING HEIGHT	35 FT	45 FT **
LOT COVERAGE (BUILDINGS)	30 %	19.0 %
NOTES		
* BUILDING SETBACKS FROM RESIDENTIALLY ZONED PROPERTIES IS INCREASED BY 70'		
** VARIANCE REQUIRED FOR MAXIMUM BUILDING HEIGHT		

PARKING CALCULATIONS

CAR PARKING SPACE REQUIREMENTS:
REQUIRED: WAREHOUSE: 1 SPACE PER 2,000 SQ. FT. OF FLOOR AREA
OFFICE: 1 SPACE PER 200 SQ. FT. OF FLOOR AREA

PARKING CALCULATIONS FOR WAREHOUSE USE:
TOTAL WAREHOUSE FLOOR AREA: 268,000 SQ. FT.
268,000 SQ. FT. X (1/2000) = 134 SPACES

PARKING CALCULATIONS FOR OFFICE USE:
TOTAL OFFICE FLOOR AREA: 12,000 SQ. FT.
12,000 SQ. FT. X (1/200) = 60 SPACES

COMBINED PARKING REQUIREMENTS:
TOTAL SPACES REQUIRED FOR SITE: 134 + 60 = 194 SPACES
TOTAL SPACES PROVIDED: 266 SPACES

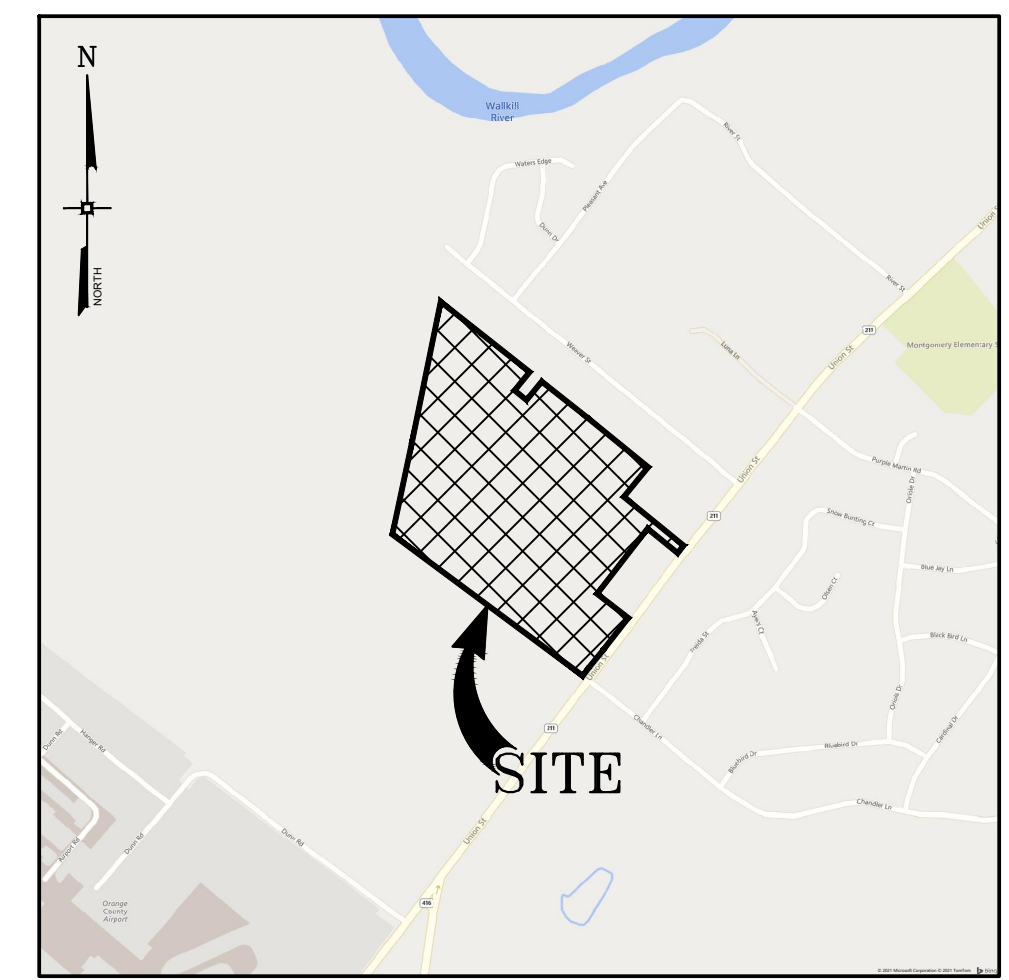
TRUCK LOADING SPACE REQUIREMENTS:
REQUIRED: 2 SPACES FOR THE FIRST 40,000 SQ. FT. AND 1 ADDITIONAL SPACE PER EACH ADDITIONAL 40,000 SQ. FT. OF FLOOR AREA

BUILDING 1: 60,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + (20,000 SQ. FT. X (1/40000)) = 2.5 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 3

BUILDING 2: 60,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + (20,000 SQ. FT. X (1/40000)) = 2.5 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 3

BUILDING 3: 80,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + (40,000 SQ. FT. X (1/40000)) = 3 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 26

BUILDING 4: 80,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + (40,000 SQ. FT. X (1/40000)) = 3 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 26



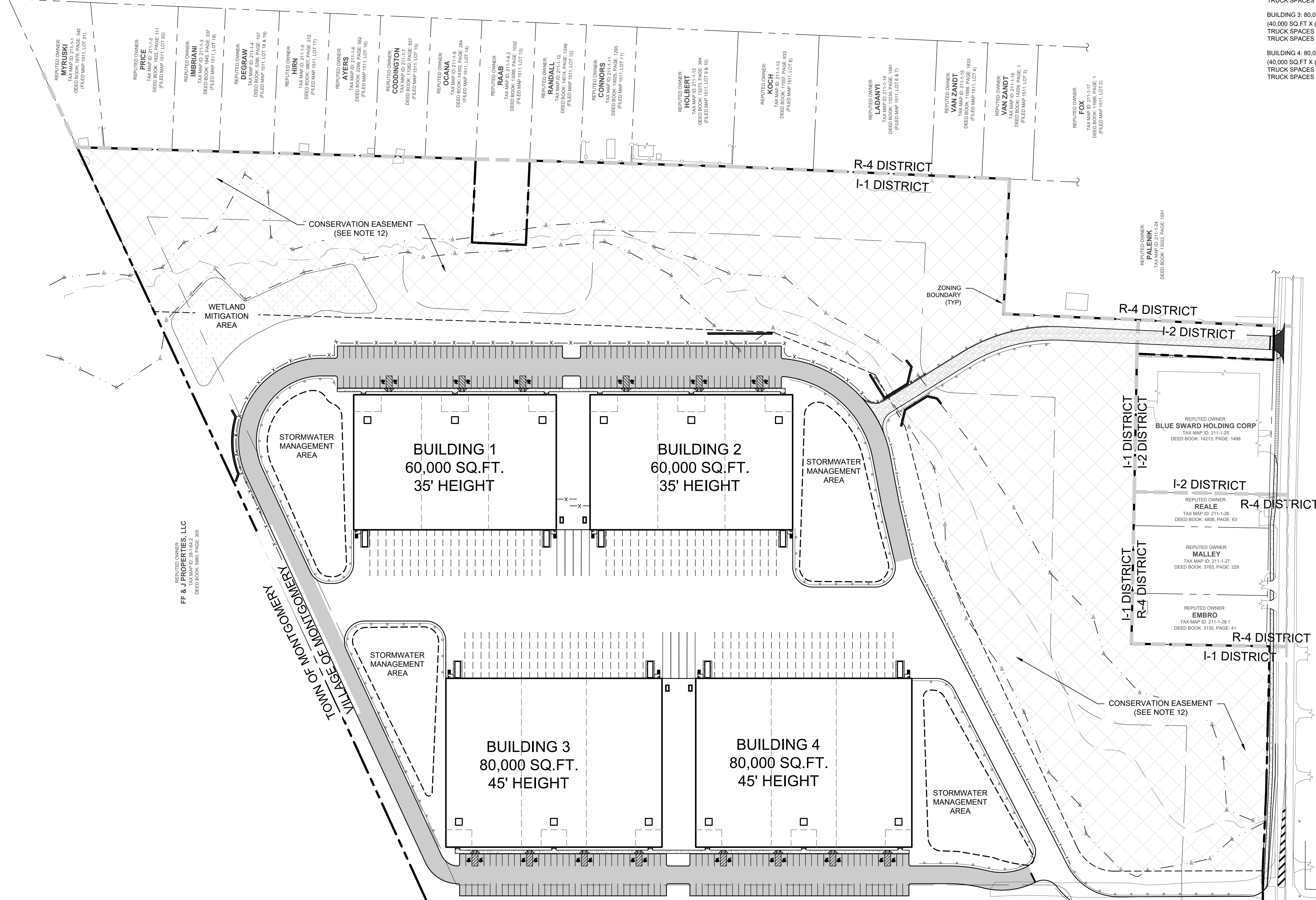
LOCATION MAP
SCALE: 1" = 1000'

LIST OF DRAWINGS

DRAWING#	TITLE	SHEET#
Q-100	OVERALL PLAN	1
C-101	SITE PLAN	2
C-102	SITE PLAN	3
C-103	GRADING, DRAINAGE & UTILITY PLAN	4
C-104	GRADING, DRAINAGE & UTILITY PLAN	5
C-105	PHASING PLAN	6
C-106	EROSION & SEDIMENT CONTROL PLAN	7
C-107	EROSION & SEDIMENT CONTROL PLAN	8
C-108	LIGHTING PLAN	9
C-109	LIGHTING PLAN	10
C-110	LANDSCAPE PLAN AND DETAILS	11
C-111	LANDSCAPE PLAN AND DETAILS	12
C-301	DETAILS	13
C-302	DETAILS	14
C-303	DETAILS	15
C-304	DETAILS	16

GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 211, BLOCK 1, LOT 29-22
- TOTAL AREA OF SUBJECT PARCEL: ± 33.87 ACRES.
- BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON A SURVEY DATED OCTOBER 10, 2018 AS PREPARED BY ENGINEERING & SURVEYING PROPERTIES, P.C.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES, P.C. FROM USGS 1M HYDRO-PLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER/APPLICANT: ROUTE 211 OWNER, LLC
286 BROADWAY, SUITE 403
BROOKLYN, NEW YORK 11211
- WETLAND FLAGS AND BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD EVALUATION PERFORMED BY PETER TORGENSEN ON OCTOBER 18, 2018, AND GPS LOCATED BY ENGINEERING AND SURVEYING PROPERTIES, P.C. ON OCTOBER 18, 2018.
- WETLAND DISTURBANCE AREA SHOWN WERE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION AND PROJECT PLAN" BY ENVIRONMENTAL COMPLIANCE SERVICES, INC. DATED SEPTEMBER 8, 2005.
- EXISTING ACOE WETLAND DISTURBANCE: ±0.088 ACRES
PROPOSED ACOE WETLAND DISTURBANCE: ±0.120 ACRES
TEMPORARY ACOE WETLAND DISTURBANCE: ±0.032 ACRES
TOTAL ACOE WETLAND DISTURBANCE: ±0.238 ACRES
- THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS, THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- THE OWNER WILL NOTIFY THE NEIGHBOR OF THE ENCRAGEMENTS ON THE PROPERTY. NO ACTION WILL BE TAKEN UNLESS WRITTEN NOTICE IS PROVIDED BY THE OWNER.
- FOR ALL WORK WITHIN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SEE PLANS BY CREIGHTON MANNING ENGINEERING LLC.
- CONSERVATION EASEMENT TO BE GRANTED TO THE VILLAGE OF MONTGOMERY.
- PRIOR TO CONSTRUCTION THE WETLAND BOUNDARIES IN THE VICINITY OF ANY PROPOSED WORK SHALL BE CLEARLY MARKED IN THE FIELD WITH ORANGE CONSTRUCTION FENCING TO AVOID UNNECESSARY DISTURBANCES.
- NO OPEN STORAGE IS ALLOWED. ALL ITEMS AND MATERIALS SHALL BE STORED COMPLETELY WITHIN THE CONFINES OF THE WAREHOUSE BUILDING(S).
- STORAGE OF TOXIC, EXPLOSIVE, FLAMMABLE OR OTHERWISE DANGEROUS AND NOXIOUS MATERIALS THAT ARE INCOMPATIBLE WITH THE PUBLIC HEALTH AND SAFETY OR THAT MAY POSE A RISK TO GROUNDWATER OR OTHER CONTAMINATION SHALL BE PROHIBITED.
- TOTAL DISTURBANCE AREA: ±21.23 ACRES
- DUE TO THE PROXIMITY OF THE PROJECT SITE TO A KNOWN INDIANA BAT AND NORTHERN LONG-EARED BAT HIBERNACULUM, ANY TREE CUTTING OR REMOVAL SHALL OCCUR WITHIN THE APPROPRIATE TIME OF YEAR WORK WINDOW, OCTOBER 1ST THROUGH MARCH 31ST, TO AVOID DIRECT IMPACTS TO INDIVIDUALS AND THE NEED FOR AN ARTICLE 11 TAKE PERMIT.
- A FIVE (5) FOOT HIGH SOLID BAFFLE SHALL SURROUND ALL HVAC EQUIPMENT TO PROVIDE SOUND ATTENUATION AND HVAC EQUIPMENT SHALL FACE AWAY FROM THE EXISTING RESIDENCES ON WEAVER STREET.
- AS PERMITTED BY OSHA, ALL ON SITE EQUIPMENT SHALL BE EQUIPPED WITH "WHITE NOISE" ALARMS IN LIEU OF TONAL ALARMS.
- THE VILLAGE OF MONTGOMERY SHALL BE PERMITTED TO ENFORCE IDLING RESTRICTIONS PER STATE REQUIREMENTS.
- ANY BACKUP GENERATORS ON SITE SHALL BE TESTED ONLY DURING DAYTIME HOURS.
- THERE SHALL BE NO PARKING OF TRUCKS OUTSIDE THE TRUCK LOADING/PARKING AREA BETWEEN THE BUILDINGS.
- ALL LOADING DOCKS SHALL INCLUDE 8" FOAM VINYL CLAD DOCK SEALS.
- IN THE EVENT OF A PARTIALLY CONSTRUCTED SITE, ABSENT EITHER BUILDINGS 1 OR 2 OR BOTH, A BERM AND FENCE COMBINATION SHALL BE CONSTRUCTED AT THE OUTER EDGE OF THE LOADING AREA FROM RING ROAD TO RING ROAD. IT SHALL CONSIST OF A 6 FOOT HIGH EARTHEN BERM AND A 10 FOOT HIGH SOUND WALL TO BE REUSED LATER, WHEN THE BUILDINGS AS CONSTRUCTED FOR A COMBINED HEIGHT OF 16 FEET ABOVE GRADE.



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10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		12/03/2024
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1	OF 16
<input type="checkbox"/> OCDDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCDDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 60 ft.

ENGINEERING & SURVEYING PROPERTIES
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MONTGOMERY OFFICE
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
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OVERALL PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

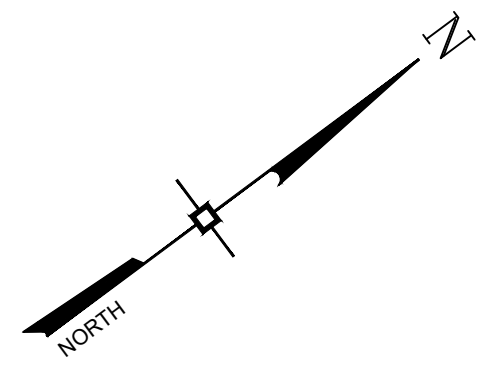
JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 60'
REVISION:	10 - 12/03/2024	TAX LOT:	211-1-29-22

O-100

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LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
	CURB LINE		EXISTING BUILDING LINE		
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE		
	EASEMENT LINE		EXISTING EDGE OF PAVEMENT LINE		
	BUILDING SETBACK LINES		LIMIT OF ACOE WETLAND		
	GUIDERAIL LINES		EXISTING CHAINLINK FENCE LINES		
	RETAINING WALL LINES		EXISTING STOCKADE FENCE LINES		
	PARKING STALL STRIPE		EXISTING WOODRAIL FENCE LINES		
	PARKING PAVEMENT SECTION		EXISTING MOW LINE		
	EDGE OF SIDEWALK LINES		EXISTING OVERHEAD UTILITY LINES		
	LIMIT OF WETLAND MITIGATION LINE				
	PROPERTY LINE				
	STRIPING LINE				



REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
CODDINGTON
TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
(FILED MAP 1511, LOT 15)

REPUTED OWNER:
OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

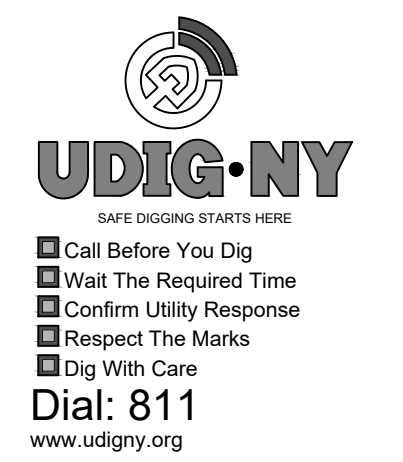
REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
DEED BOOK: 13085, PAGE: 1032
(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

- NOTES:**
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THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		12/03/2024
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	2 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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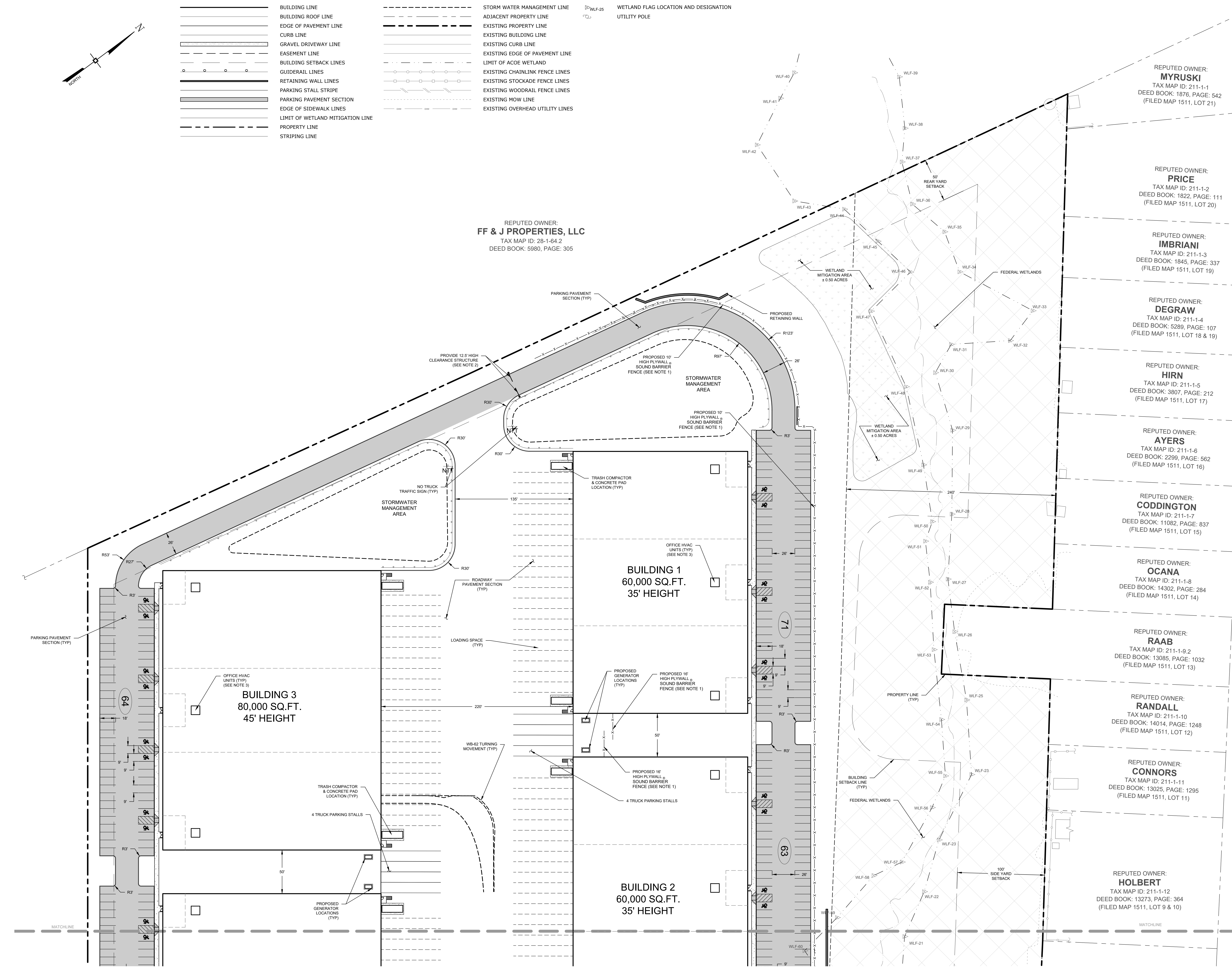
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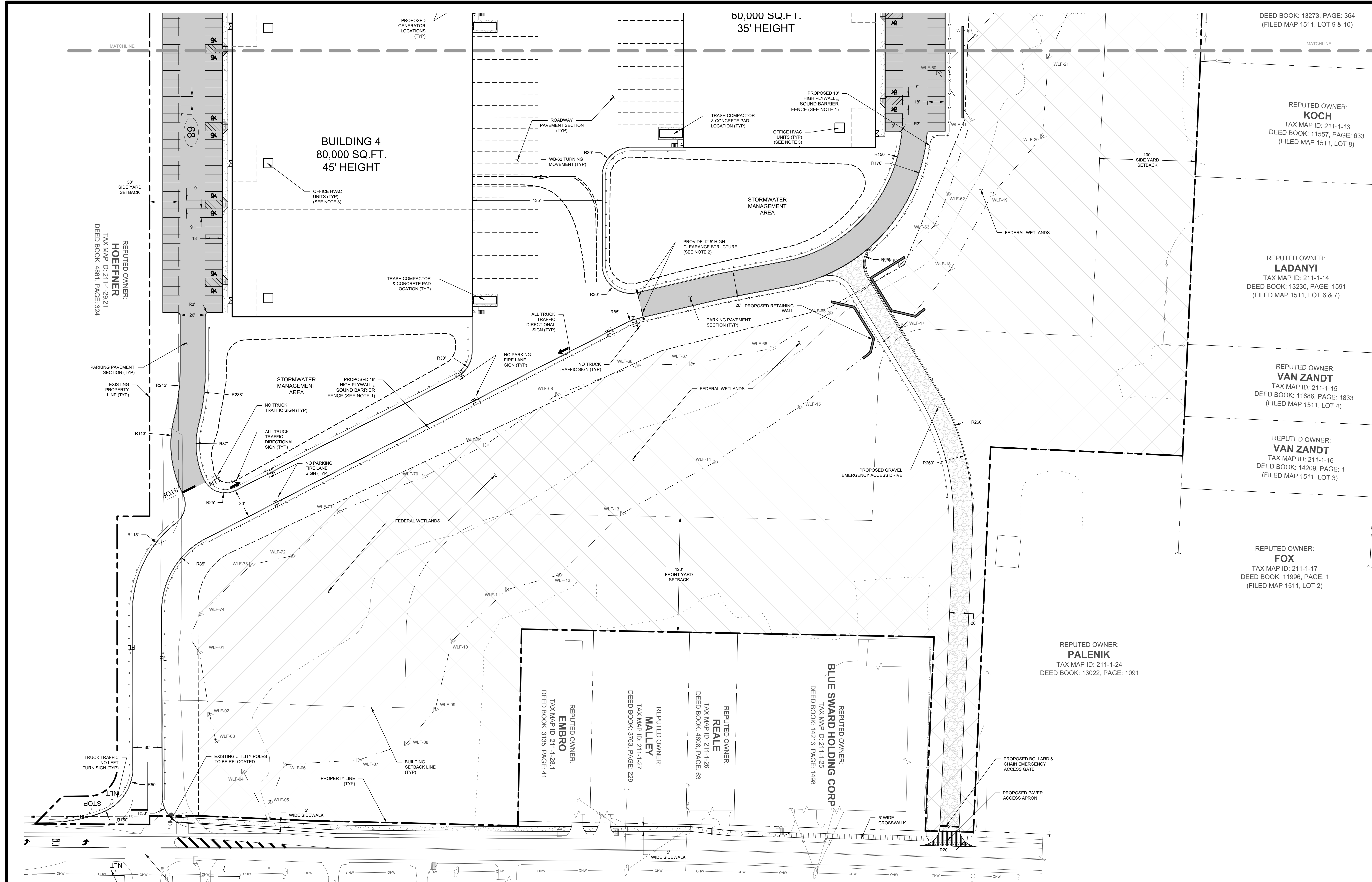
SITE PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	10 - 12/03/2024	TAX LOT:	211-1-29.22

C-101





DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11557, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 11886, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

REPUTED OWNER:
PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:
EMBRIO
TAX MAP ID: 211-1-28, 1
DEED BOOK: 3135, PAGE: 41

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 229

REPUTED OWNER:
REALE
TAX MAP ID: 211-1-26
DEED BOOK: 4808, PAGE: 63

REPUTED OWNER:
BLUE SWARD HOLDING CORP
TAX MAP ID: 211-1-25
DEED BOOK: 14213, PAGE: 1498

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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3 OF 16	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER	N/A OF N/A	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 40 ft.

LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
	CURB LINE		EXISTING BUILDING LINE		
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE		
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SITE PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

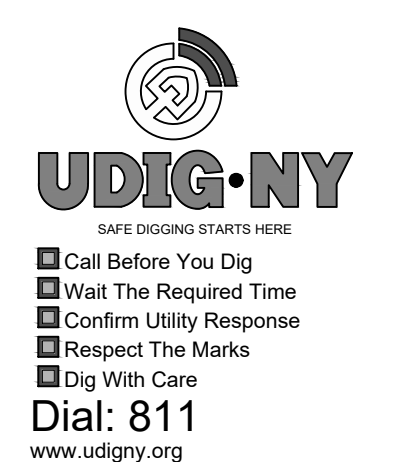
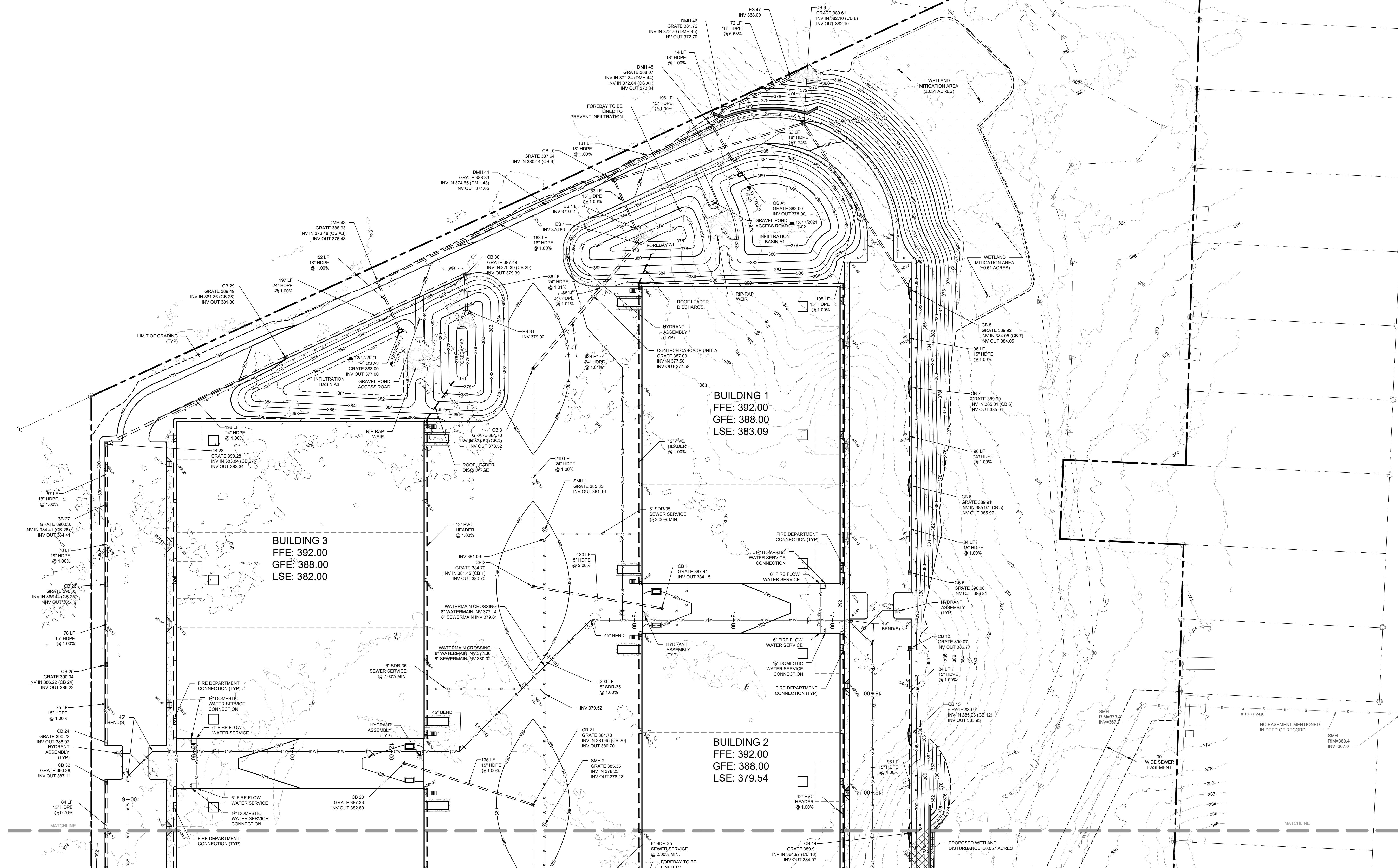
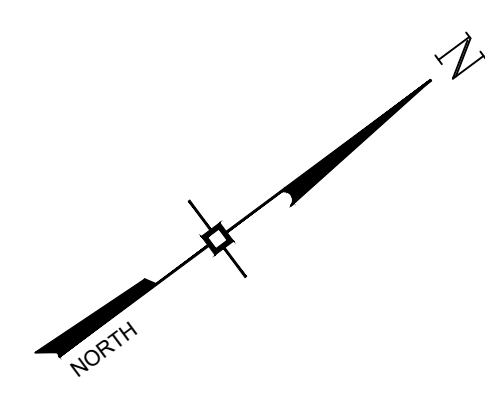
JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	10 - 12/03/2024	TAX LOT:	211-1-29-22

C-102

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LEGEND

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES				
	SEWER SERVICE LINES				
	WATER MAIN LINES				
	WATER SERVICE LINES				
	STORM DRAIN LINES				



NOTES:
1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS ASH SHOWN ON THE PLANS.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS
10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		12/03/2024
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	4 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 40 ft.

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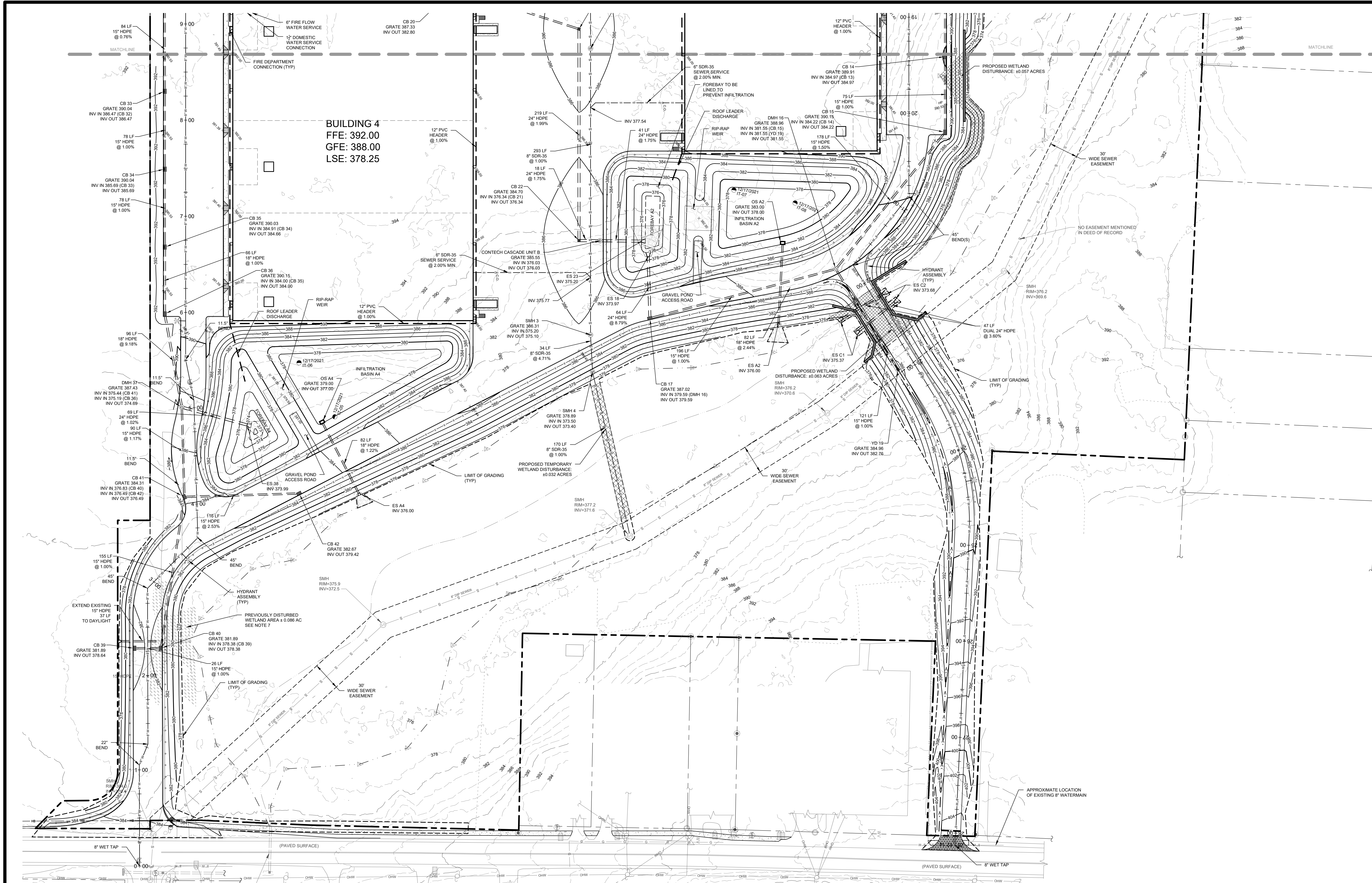
GRADING, DRAINAGE & UTILITY PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

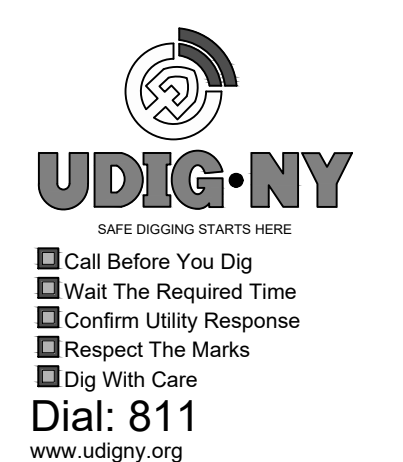
JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 10 - 12/03/2024 TAX LOT: 211-1-29-22

C-103

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BUILDING 4
 FFE: 392.00
 GFE: 388.00
 LSE: 378.25



NOTES:
 1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

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6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	5 OF 16	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER	N/A OF N/A	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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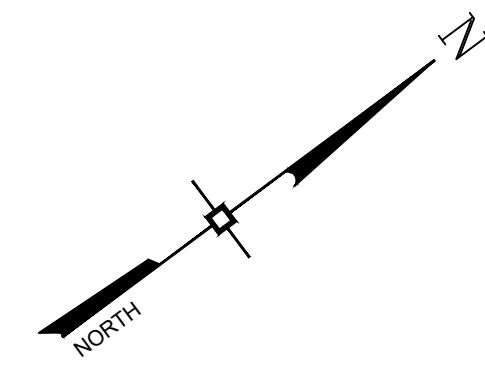
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 NEW YORK LICENSE # 071701

LEGEND

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES		WATER SERVICE LINES		
	SEWER SERVICE LINES		STORM DRAIN LINES		
	WATER MAIN LINES				

CHANDLER LANE



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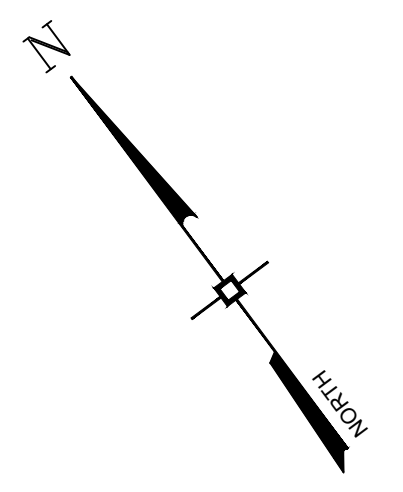
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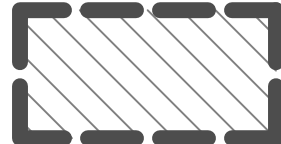

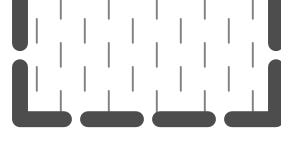

GRADING, DRAINAGE & UTILITY PLAN

KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 10 - 12/03/2024 TAX LOT: 211-1-29-22

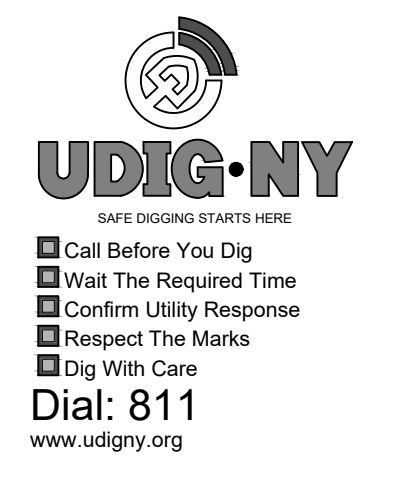
C-104



-  PHASE 1
-  PHASE 2
-  PHASE 3
-  PHASE 4

DISTURBANCE AREA PER PHASE

PHASE 1	= 317,850 SQFT	= ± 7.30 AC
PHASE 2	= 199,720 SQFT	= ± 5.84 AC
PHASE 3	= 213,867 SQFT	= ± 4.91 AC
PHASE 4	= 201,727 SQFT	= ± 4.50 AC



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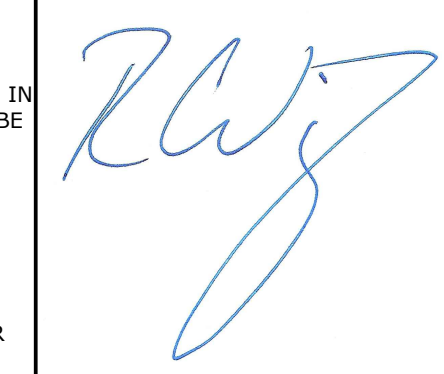
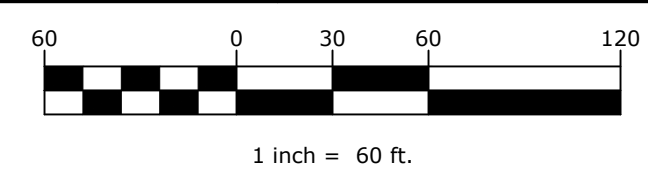
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THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	12/03/2024
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6 OF 16
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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NEW YORK LICENSE # 071701

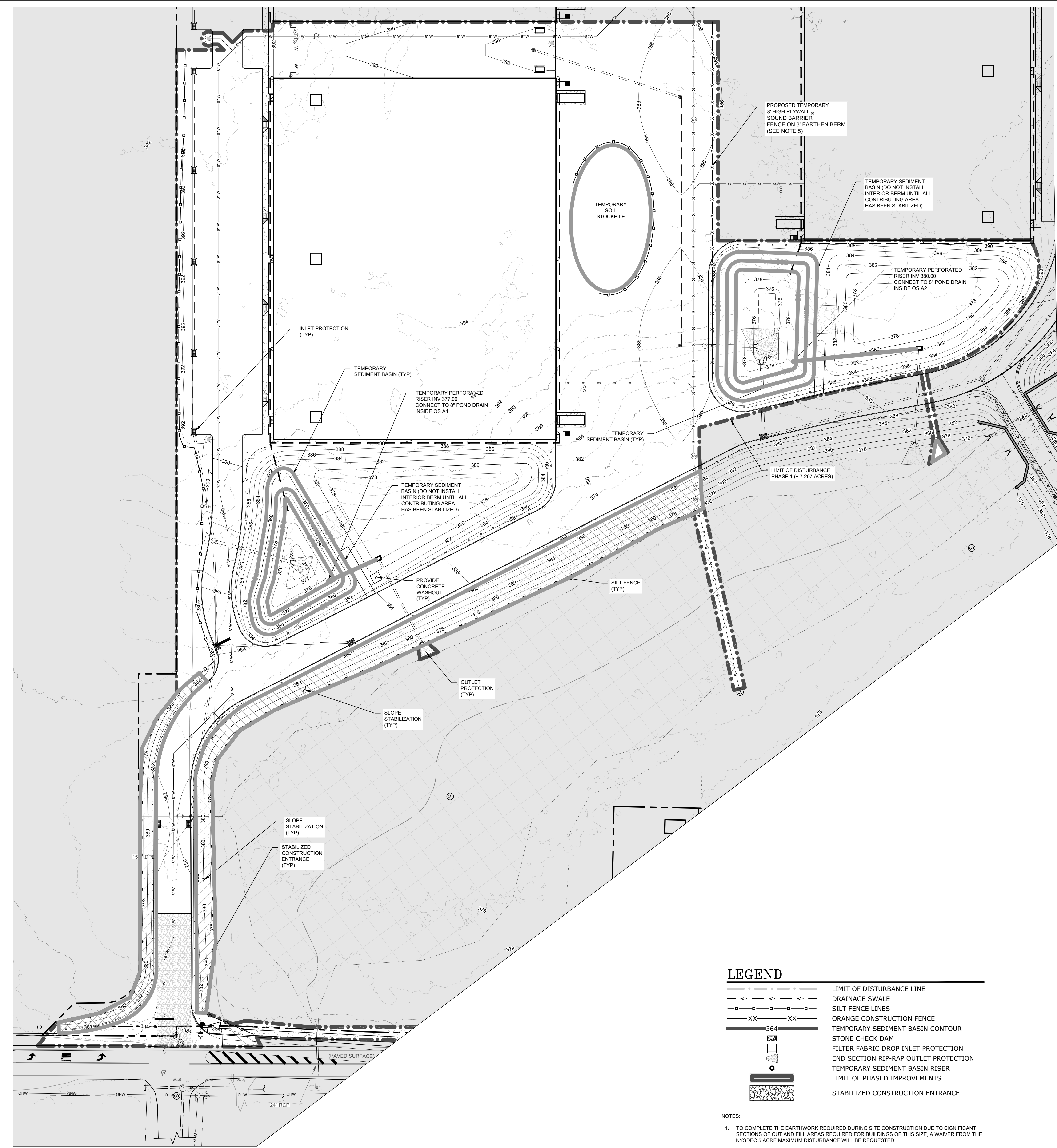
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PHASING PLAN
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 60'
REVISION:	10 - 12/03/2024	TAX LOT:	211-1-29.22

C-105



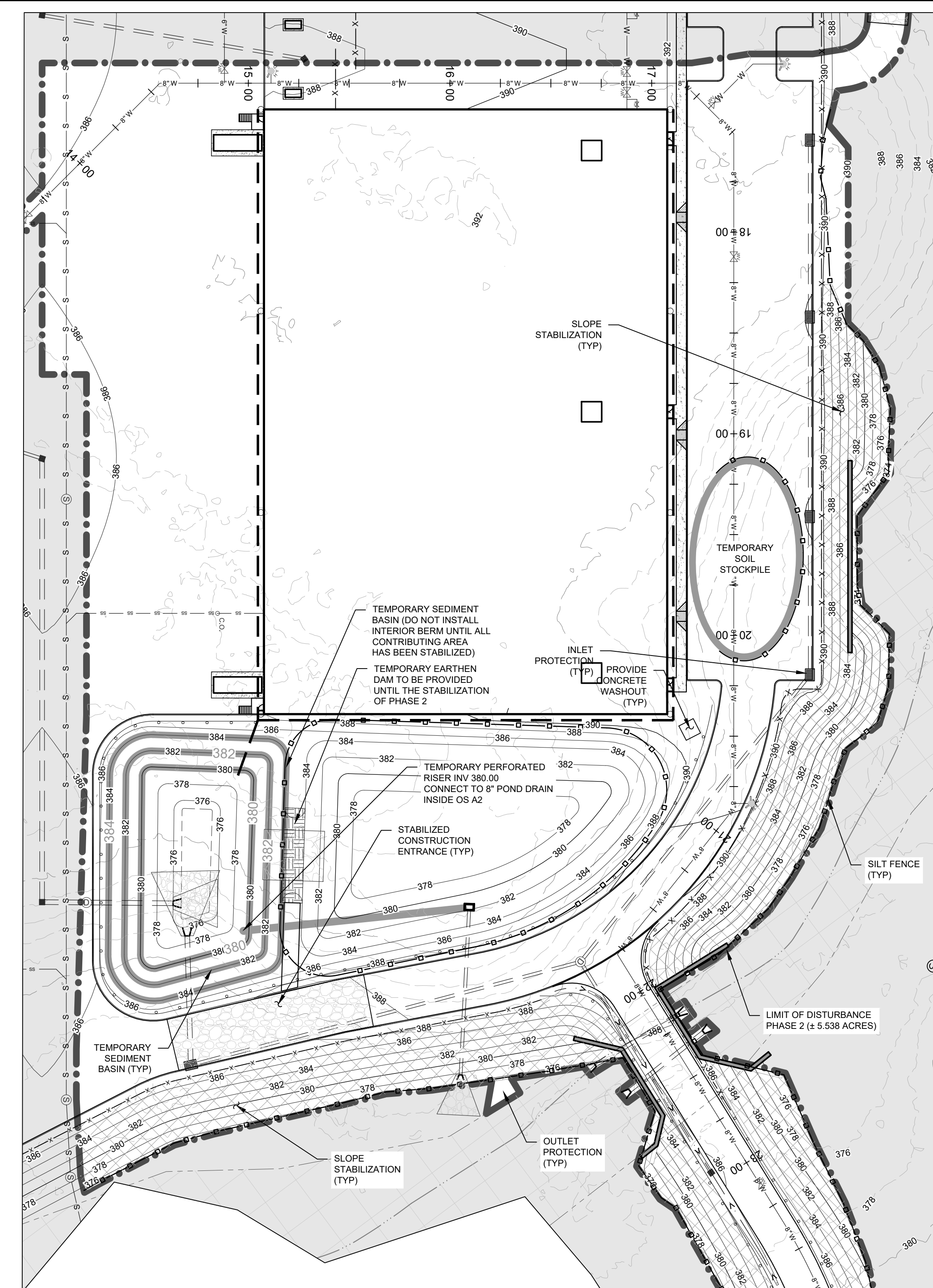
SCALE: 1" = 40'

PHASE 1 EROSION & SEDIMENT CONTROL PLAN

LEGEND

--- (dashed line)	LIMIT OF DISTURBANCE LINE
- - - - - (long dashed line)	DRAINAGE SWALE
--- (dotted line)	SILT FENCE LINES
XX XX (dashed line)	ORANGE CONSTRUCTION FENCE
--- (solid line)	TEMPORARY SEDIMENT BASIN CONTOUR
--- (solid line)	STONE CHECK DAM
--- (solid line)	FILTER FABRIC DROP INLET PROTECTION
--- (solid line)	END SECTION RIP-RAP OUTLET PROTECTION
--- (solid line)	TEMPORARY SEDIMENT BASIN RISER
--- (solid line)	LIMIT OF PHASED IMPROVEMENTS
--- (solid line)	STABILIZED CONSTRUCTION ENTRANCE

- NOTES:**
- TO COMPLETE THE EARTHWORK REQUIRED DURING SITE CONSTRUCTION DUE TO SIGNIFICANT SECTIONS OF CUT AND FILL AREAS REQUIRED FOR BUILDINGS OF THIS SIZE, A WAIVER FROM THE NYSDEC 5 ACRE MAXIMUM DISTURBANCE WILL BE REQUESTED.
 - ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.
 - THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS, FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
 - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.
 - PROPOSED TEMPORARY 8' HIGH PLYWALL & SOUND BARRIER FENCE TO REMAIN UNTIL THE PHASE 2 BUILDING IS ERRECTED.



SCALE: 1" = 60'

PHASE 2 EROSION & SEDIMENT CONTROL PLAN

No. DATE DESCRIPTION

1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS
10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	ISSUE DATE: 12/03/2024	SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	7	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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NEW YORK LICENSE # 071701

40 0 20 40 80
1 inch = 40 ft.

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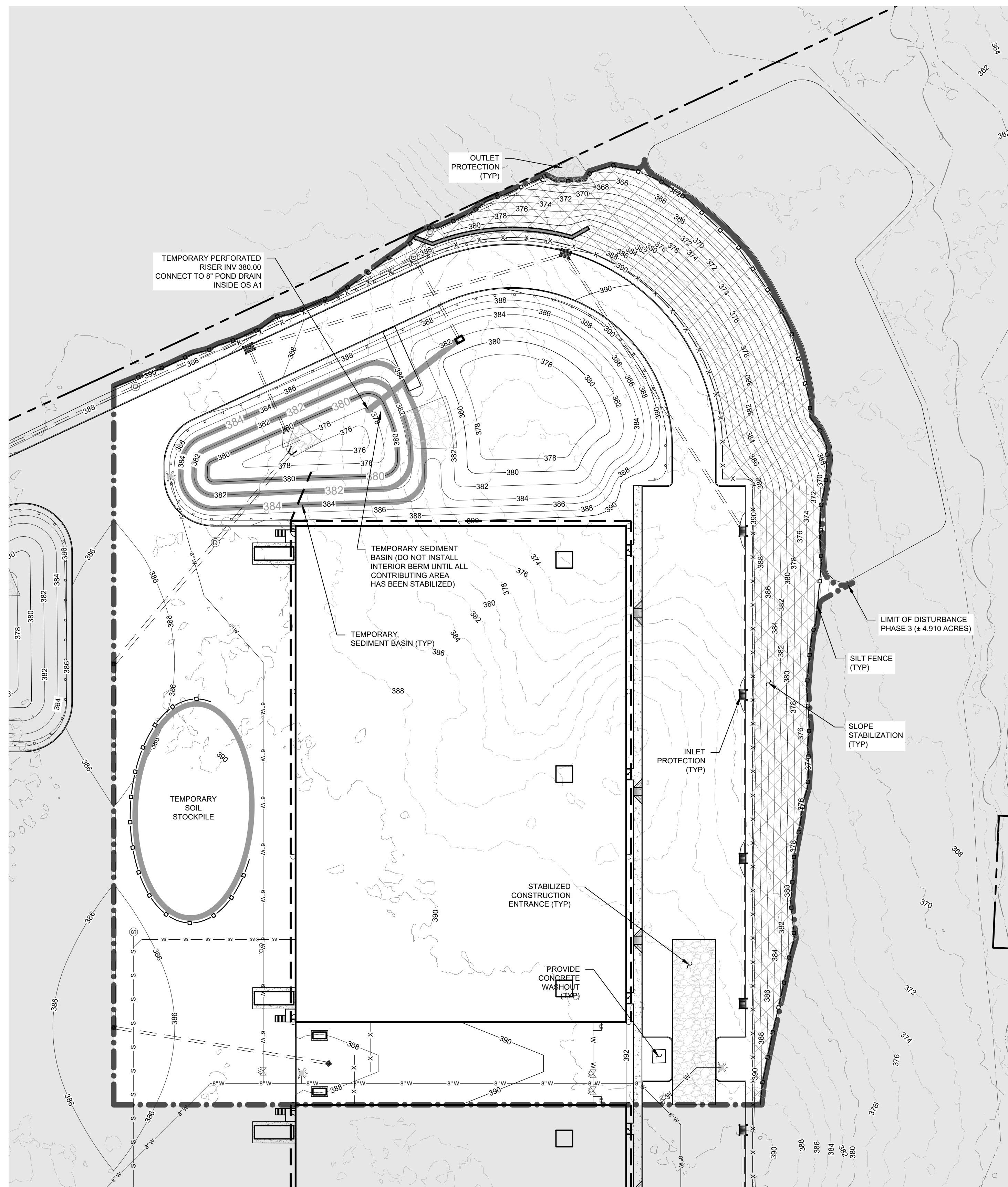
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EROSION & SEDIMENT CONTROL PLAN
KSH ROUTE 211 DEVELOPMENT
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VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
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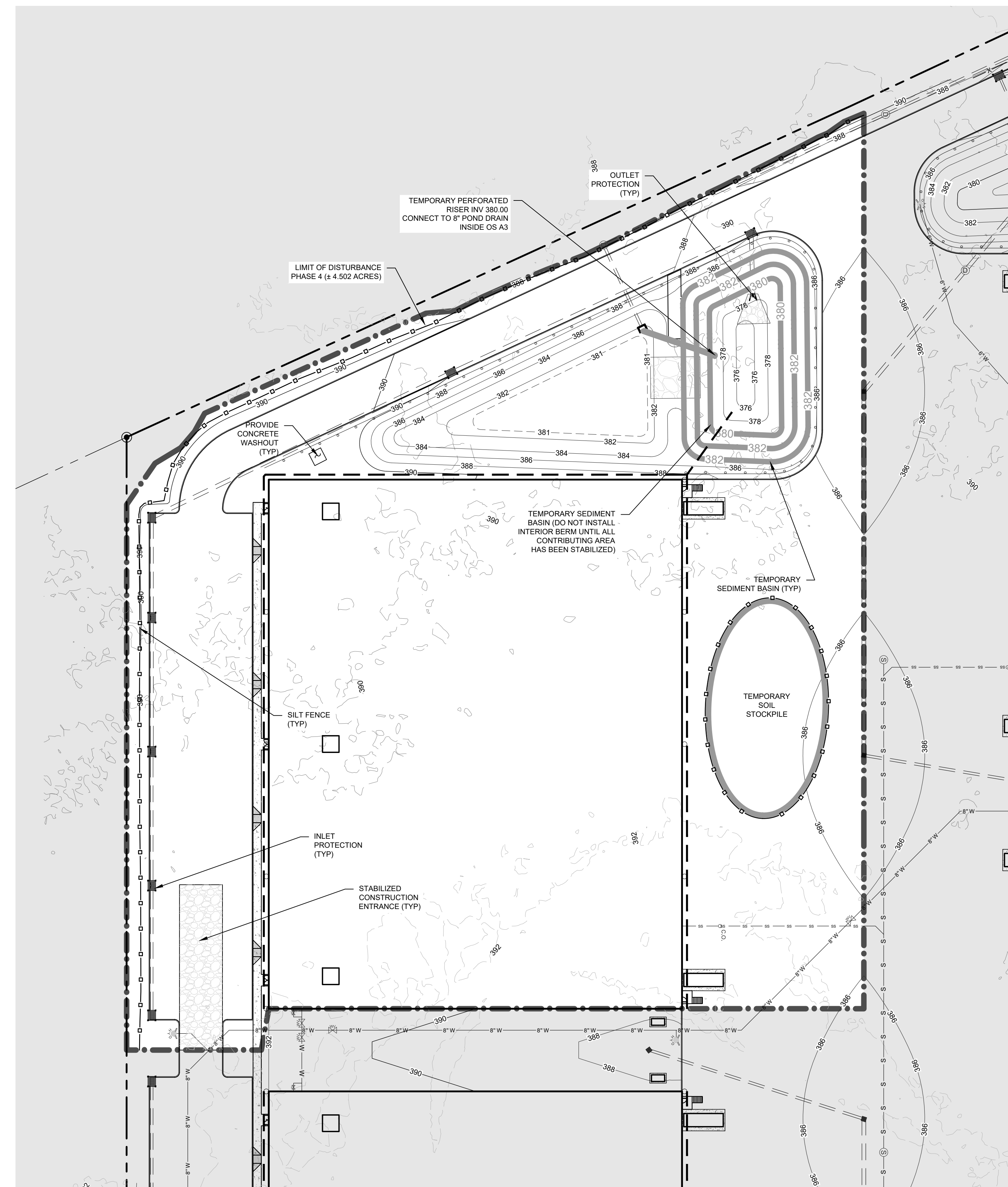
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SCALE: 1" = 40'
TAX LOT: 211-1-29-22

C-106



PHASE 3 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'



PHASE 4 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'

LEGEND

- LIMIT OF DISTURBANCE LINE
- DRAINAGE SWALE
- SILT FENCE LINES
- ORANGE CONSTRUCTION FENCE
- TEMPORARY SEDIMENT BASIN CONTOUR
- STONE CHECK DAM
- FILTER FABRIC DROP INLET PROTECTION
- END SECTION RIP-RAP OUTLET PROTECTION
- TEMPORARY SEDIMENT BASIN RISER
- LIMIT OF PHASE IMPROVEMENTS
- STABILIZED CONSTRUCTION ENTRANCE

NOTES

1. TO COMPLETE THE EARTHWORK REQUIRED DURING SITE CONSTRUCTION DUE TO SIGNIFICANT SECTIONS OF CUT AND FILL AREAS REQUIRED FOR BUILDINGS OF THIS SIZE, A WAIVER FROM THE NYSDEC 5 ACRE MAXIMUM DISTURBANCE WILL BE REQUESTED.
2. ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET, AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.
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4. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.



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<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	8 OF 16
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

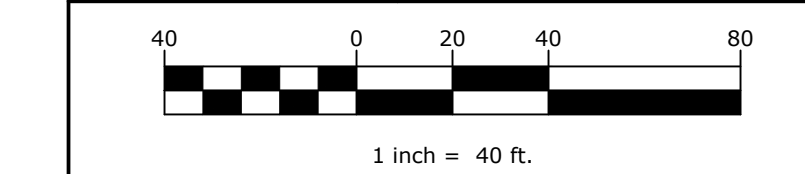
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ROSS WINGLOVITZ, P.E.
 NEW YORK LICENSE # 071701



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EROSION & SEDIMENT CONTROL PLAN

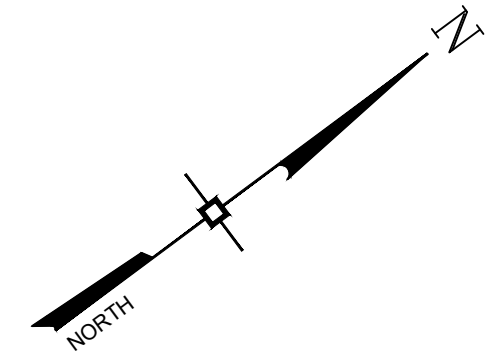
KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 10 - 12/03/2024 TAX LOT: 211-1-29-22

C-107

LEGEND

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE



Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18L-SIL-30-70CRI 25' POLE 2'-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 25' POLE 2'-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI 25' POLE 2'-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12L-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI-HL 25' POLE 2'-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI-HL 25' POLE 2'-6" BASE	LED	1	0.950	18128	135	1215

REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
CODDINGTON
TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
(FILED MAP 1511, LOT 15)

REPUTED OWNER:
OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
DEED BOOK: 13085, PAGE: 1032
(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)



No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
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6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
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8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS
10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS		ISSUE DATE:
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<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	9	OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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LIGHTING PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DRAWN BY: JM
DATE: 12/10/2021
SCALE: 1" = 40'
REVISION: 10 - 12/03/2024
TAX LOT: 211-1-29.22

C-108

DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11557, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 13230, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

REPUTED OWNER:
PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:
BLUE SWARD HOLDING CORP
TAX MAP ID: 211-1-25
DEED BOOK: 14213, PAGE: 1498

REPUTED OWNER:
REALE
TAX MAP ID: 211-1-28
DEED BOOK: 14808, PAGE: 63

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 239

REPUTED OWNER:
EMERO
TAX MAP ID: 211-1-28.1
DEED BOOK: 3135, PAGE: 41

REPUTED OWNER:
HOEFFNER
TAX MAP ID: 211-1-29.21
DEED BOOK: 4861, PAGE: 324



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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	10 OF 16
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
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<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

LEGEND

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18-SIL-SW-30-70CRI 25' POLE 2-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18526	135	810
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	D	16	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18-SIL-2-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	18128	135	1215

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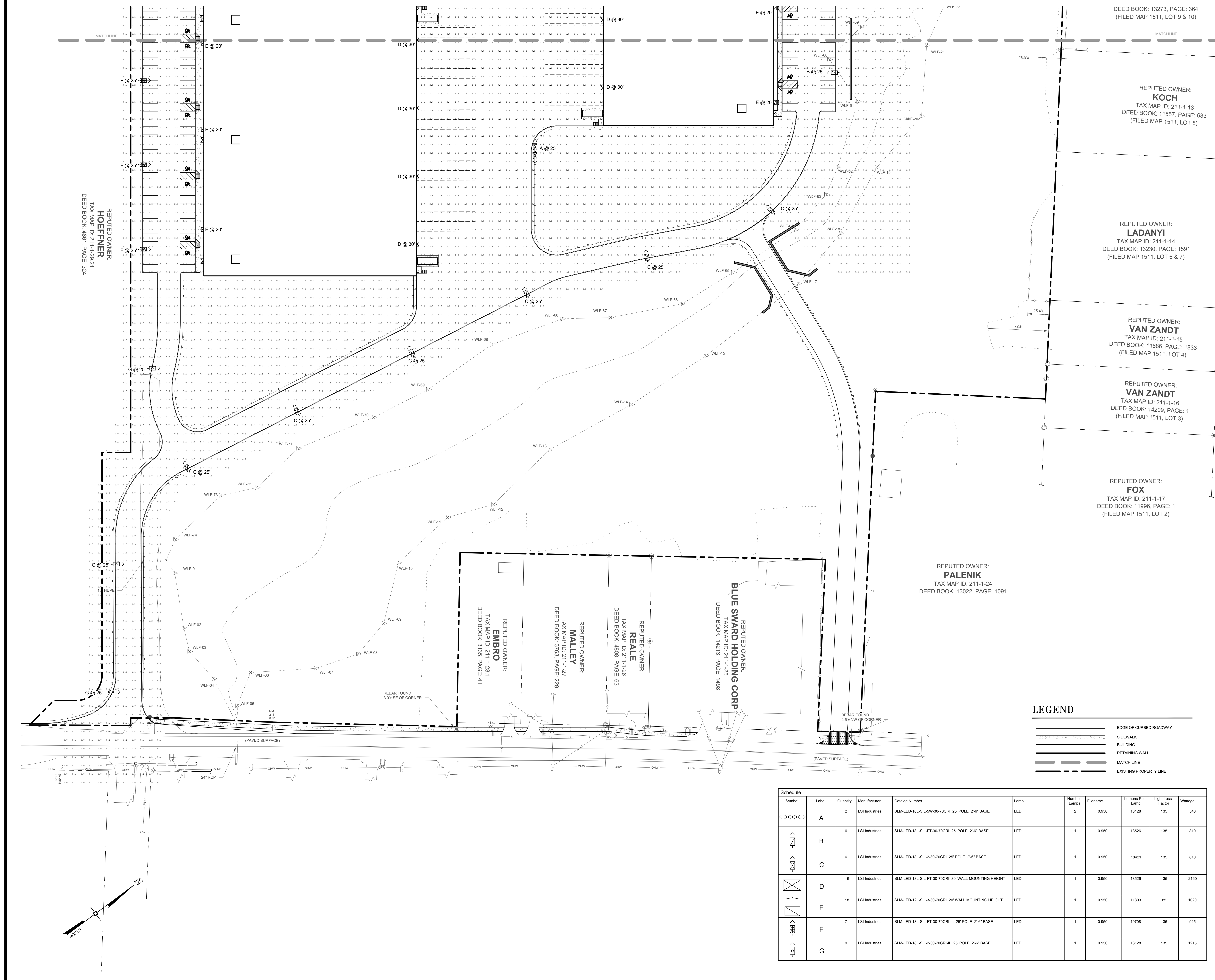
LIGHTING PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DATE: 12/10/2021
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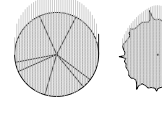
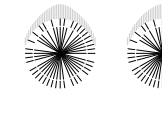
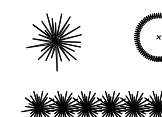
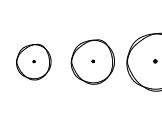
DRAWN BY: JM
SCALE: 1" = 40'
TAX LOT: 211-1-29.22

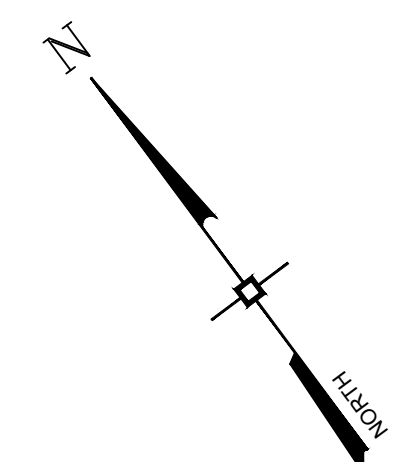
C-109



RETENTION/DETENTION POND PLANTINGS:

-  DRAW DOWN ZONE/ EMERGENT AREA:
NORTHEAST WETLAND NATIVE WILDOFLOWER MIX
-  PERMANENT GRASS MIX
-  NORTHEAST WETLAND GRASS SEED MIX

PLANTS LIST							
SYMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
	DECIDUOUS TREES	Ao	16	Acer Rubrum "October Glory"	October Glory Red Maple	3"-3-1/2" c	B4B
		Lp	5	Platanus x Acerifolia	London Planetree	3"-3-1/2" c	B4B
		Pr	11	Prunus Subhirtella "Autumnalis"	Higan Cherry	2"- 2-1/2" c	B4B
		Pe	18	Prunus serrulata "Kwanzan"	Kwanzan Cherry	2"- 2-1/2" c	B4B
		Qp	24	Quercus Falustris	Pin Oak	3"- 3-1/2"	B4B
	EVERGREEN TREES	Tc	5	Tilia Cordata "Greenspire"	Greenspire Linden	3"- 3-1/2" c	B4B
		Ns	34	Picea Abies	Norway Spruce	1' - 8' hgt.	B4B
		Ts	13	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6' - 1' hgt.	B4B
	EVERGREEN SHRUBS	Ig	34	Ilex Glabra	Inkberry Holly	34" - 36"	B4B
		Vr	55	Viburnum Rhytidophyllum	Leather Leaf Viburnum	34" - 36"	B4B
	DECIDUOUS SHRUBS	Aa	29	Amelanchier Canadensis	Shadbloow Serviceberry	30" - 34"	B4B
		Sd	22	Cornus Amomum	Silky Dogwood	30" - 34"	Container

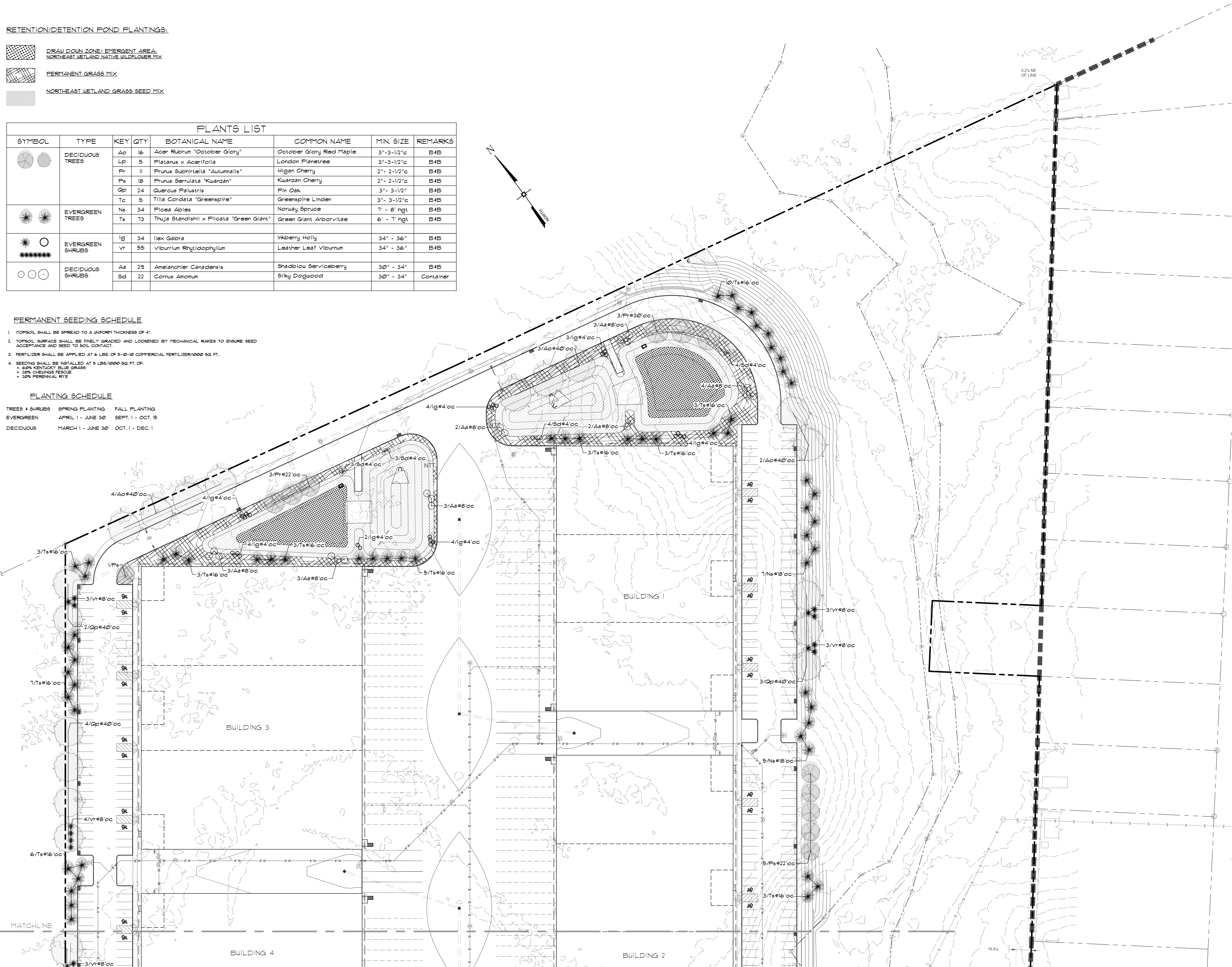


PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
 - 60% KENTUCKY BLUE GRASS
 - 20% CHEWINGS PESCUE
 - 20% PERENNIAL RYE

PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1



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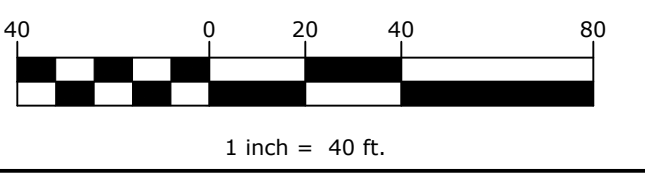
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<input type="checkbox"/> PLANNING BOARD APPROVAL	11 OF 16
<input type="checkbox"/> OCCOCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOCH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
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STEVEN T. ESPOSITO, R.L.A.
NEW YORK LICENSE # 001169

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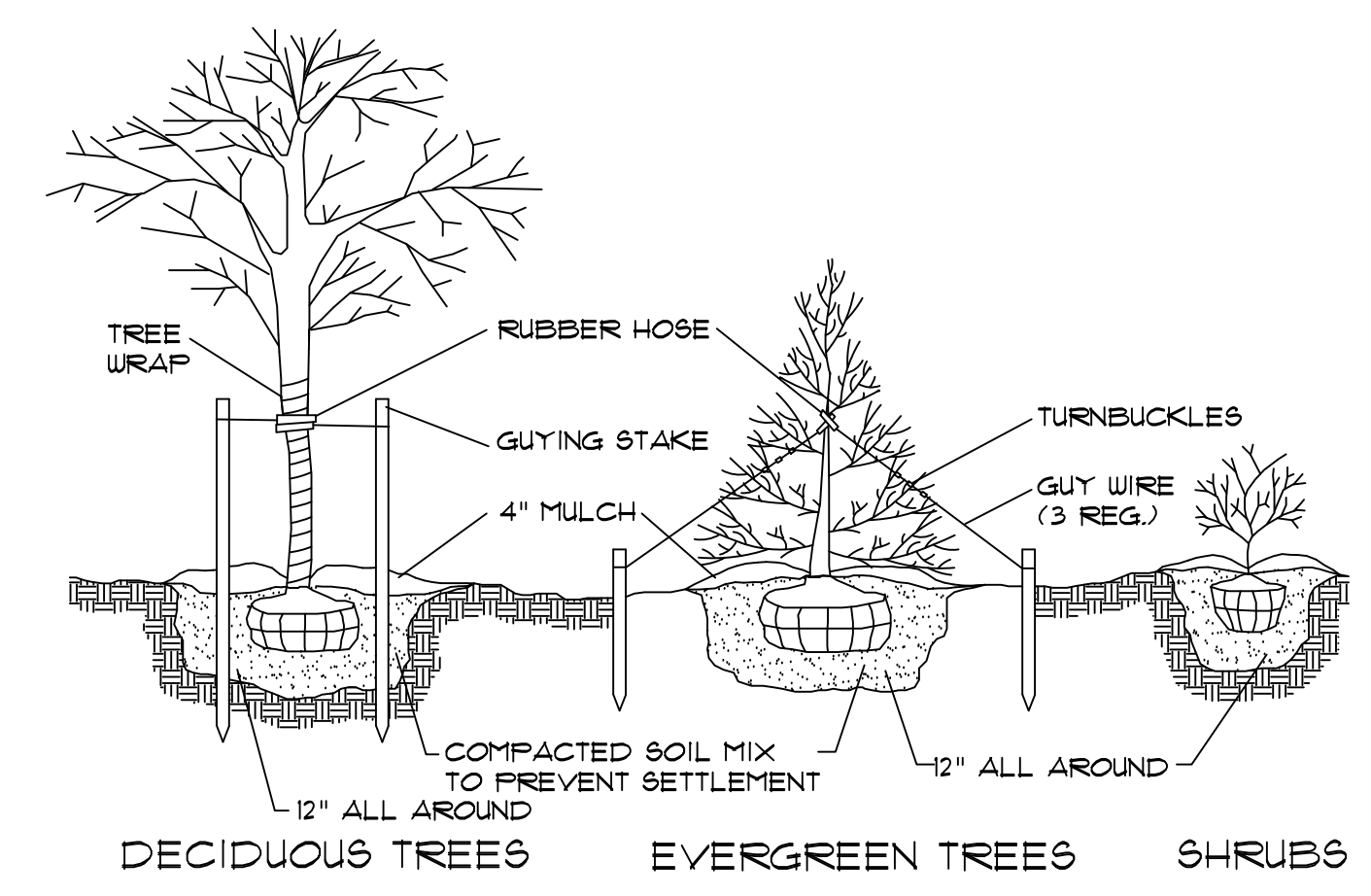
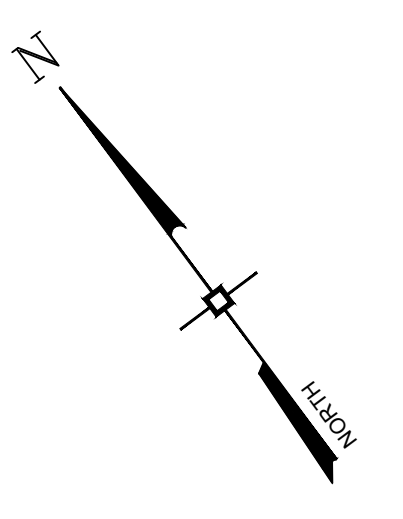
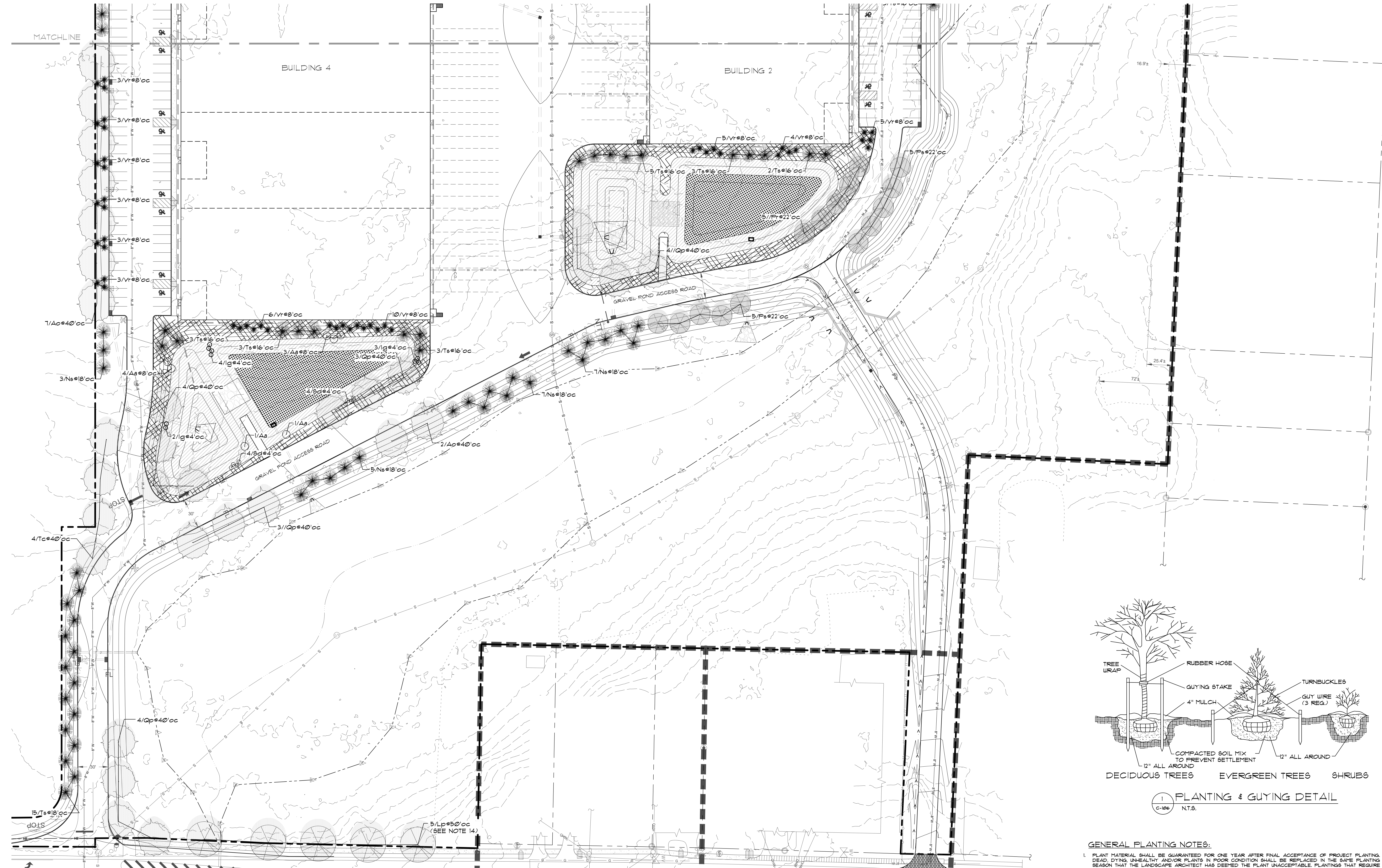
LANDSCAPE PLAN & DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 10 - 12/03/2024 TAX LOT: 211-1-29.22

C-110

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1 PLANTING & GUYING DETAIL
C-106 N.T.S.

GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND BEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY SHRUBS AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4".
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- PLANT UP TO FIVE (5) LONDON PLANETREE ALONG UNION AVE ROW TO SUPPLEMENT EXISTING VEGETATION. LOCATIONS TO BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT IN THE FIELD.

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3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS
10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	12/03/2024
<input type="checkbox"/> CONCEPT APPROVAL	SHEET NUMBER
<input type="checkbox"/> PLANNING BOARD APPROVAL	12 OF 16
<input type="checkbox"/> OCCOON REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOON WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE SIGNATURE AND AN ORIGINAL STAMP IN RED OR BLUE INK SHALL BE CONSIDERED INVALID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED LANDSCAPE ARCHITECT IS A VIOLATION OF TITLE 8 SECTION 79-1.4 OF NEW YORK CODES, RULES AND REGULATIONS (NYSRCS).

STEVEN T. ESPOSITO, R.L.A.
NEW YORK LICENSE # 001169

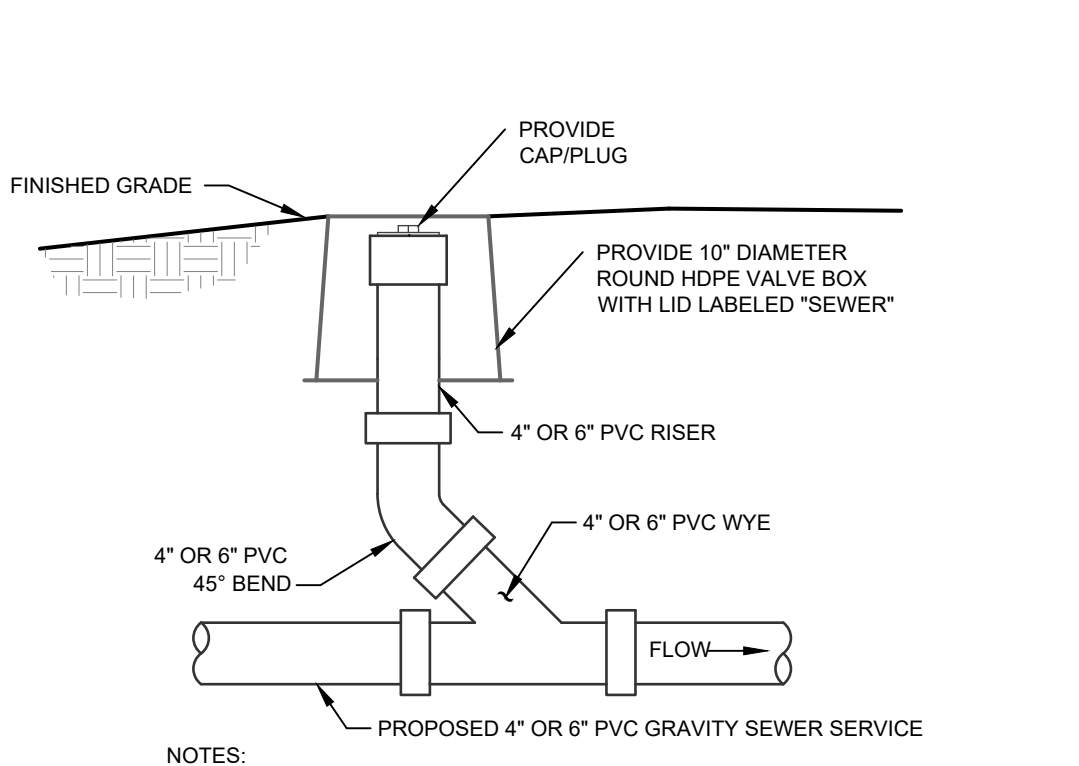
ENGINEERING & SURVEYING PROPERTIES
Montgomery Office
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
WWW.EP-PC.COM

LANDSCAPE PLAN & DETAILS

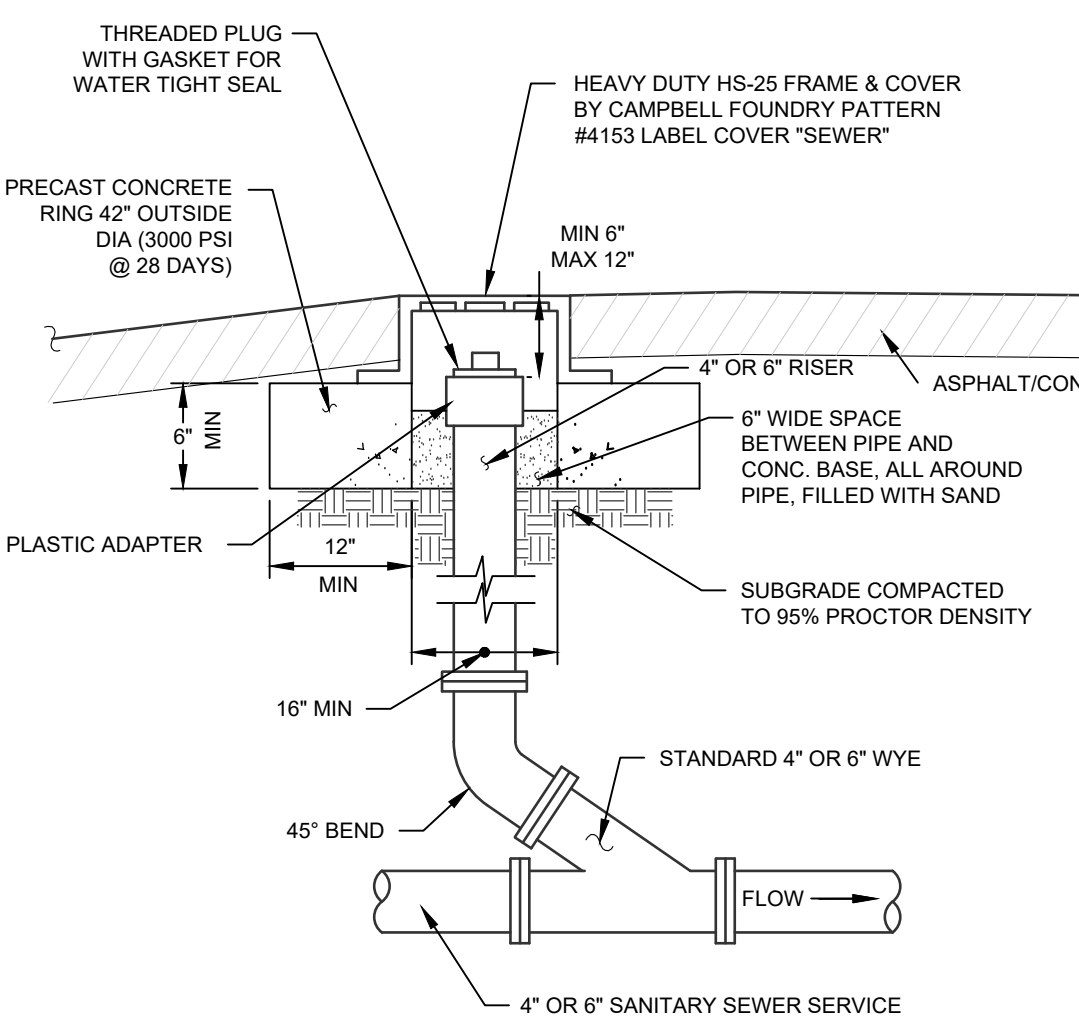
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 10 - 12/03/2024 TAX LOT: 211-1-29.22

C-111



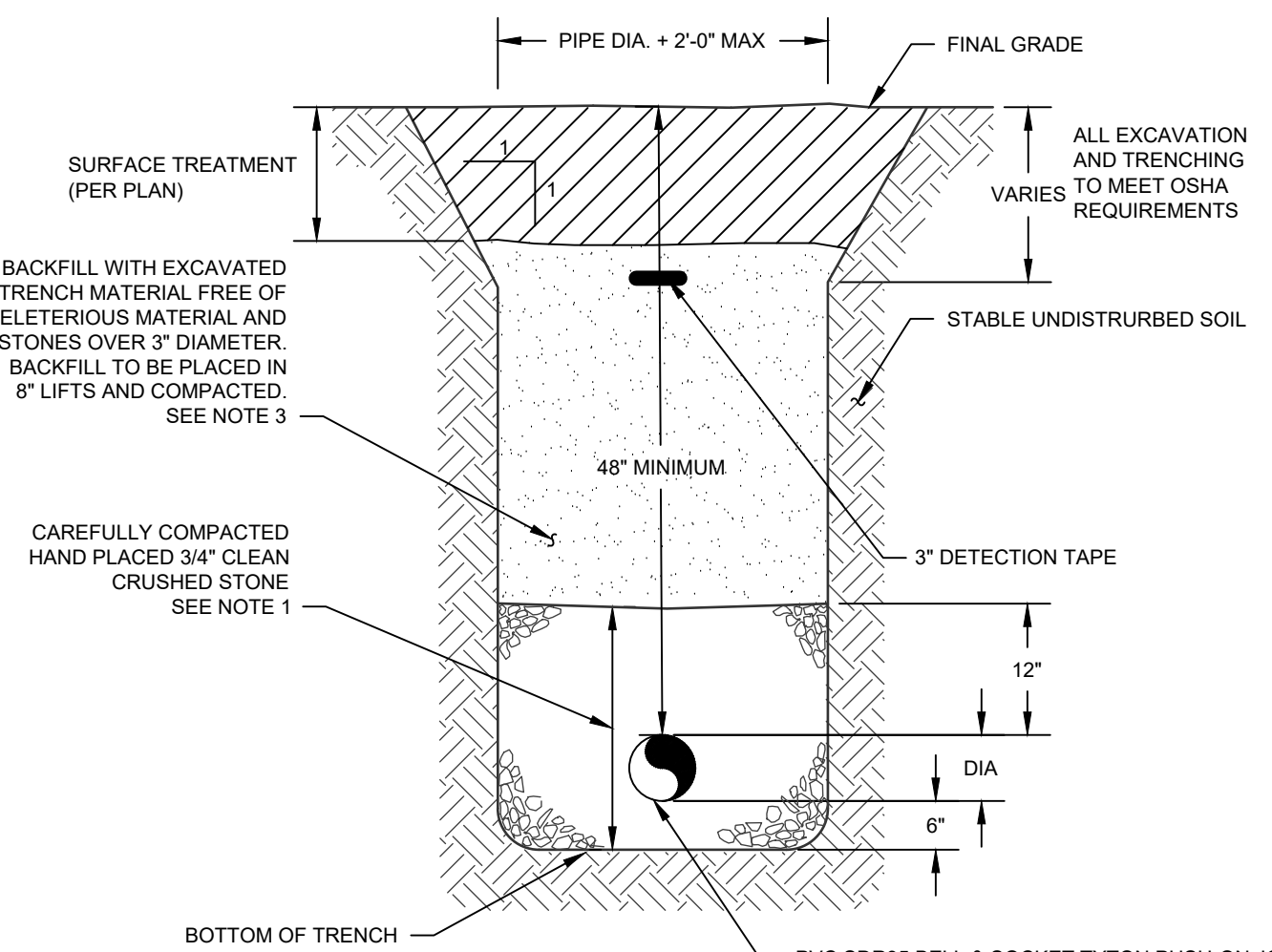
TYPICAL CLEANOUT
SCALE: NONE



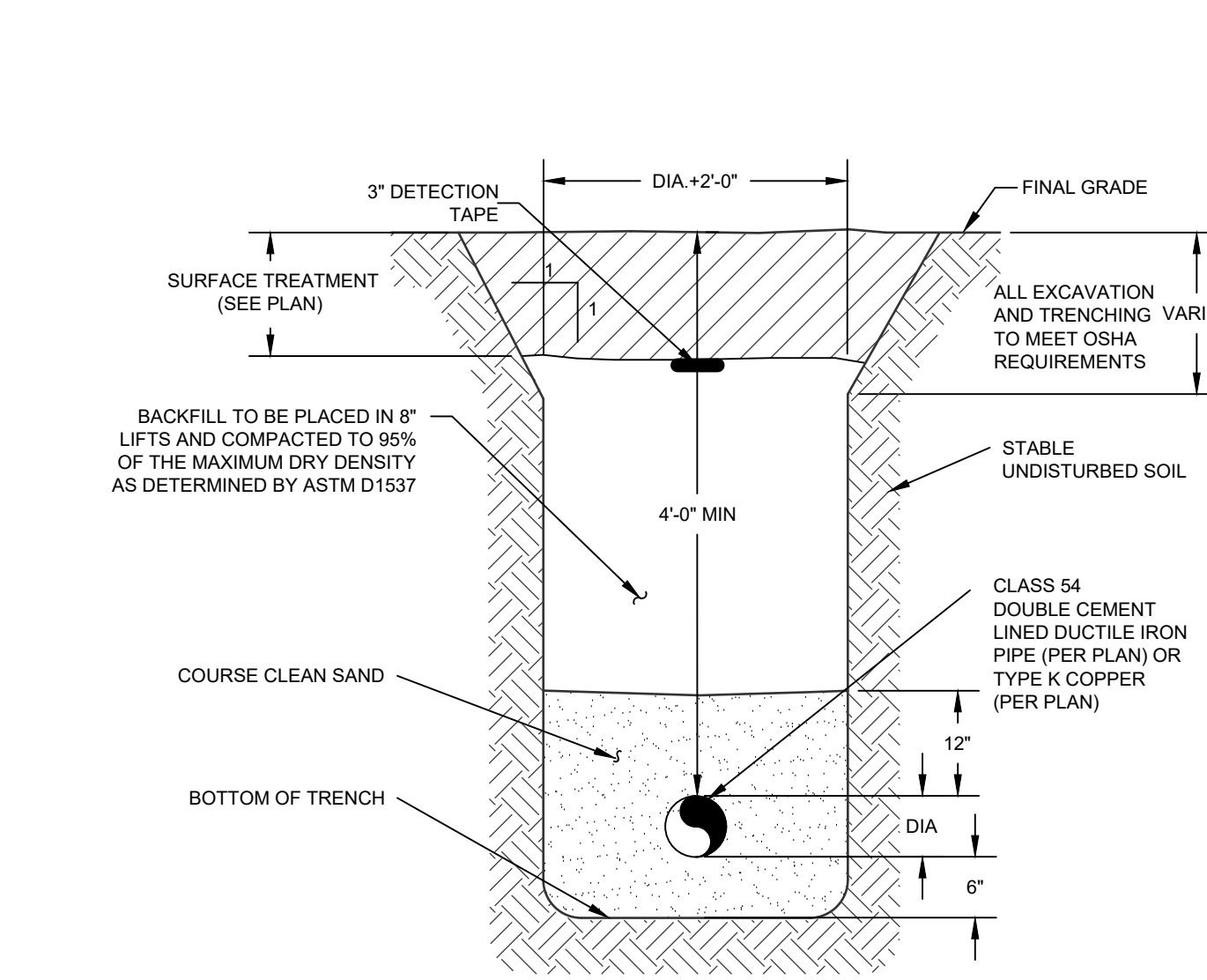
TYPICAL CLEANOUT IN PAVED AREA
SCALE: NTS

SEWER SYSTEM NOTES

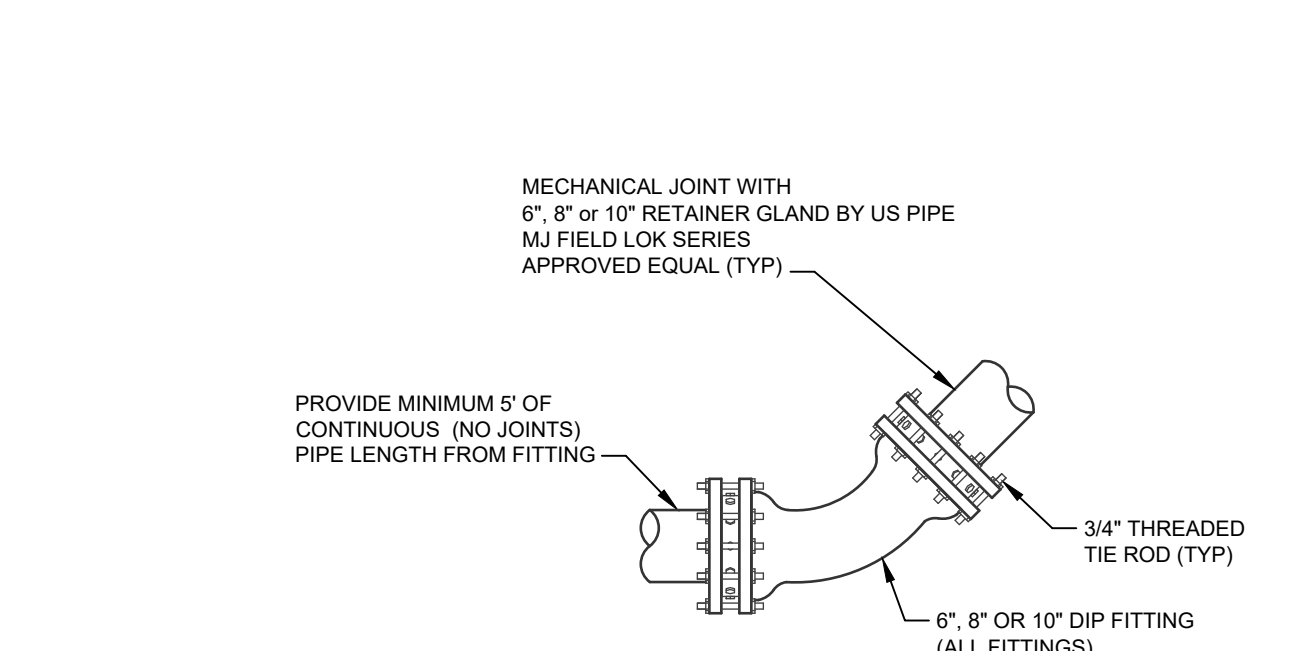
- ALL GRAVITY SEWER PIPE SHALL BE SDR35 PVC AND ALL FORCEMAIN SEWER PIPE SHALL BE SDR35 PVC.
- IF GROUNDWATER IS ENCOUNTERED DURING TRENCH EXCAVATION, THE CONTRACTOR SHALL DEWATER THE TRENCH PRIOR TO INSTALLATION. ALL DEWATERING OPERATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO VERIFY INVERT ELEVATIONS OF EXISTING SEWER MAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT.
- CONTRACTOR SHALL CALL THE VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS (645-457-3095) AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS.
- CONTRACTOR SHALL CALL UNDERGROUND MARKOUT AT 1-800-962-7962 AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS FOR COMPLETE UTILITY MARKOUT.
- THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH VILLAGE OF MONTGOMERY TOWN CODE SECTION 194-26, INCLUDING BUT NOT LIMITED TO VACUUM TESTING OF MANHOLES, LOW PRESSURE AIR TEST OF MAINS AND LATERALS, AND VIDEO RECORDING OF ALL MAINS.
- THE PROPOSED SEWERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED SEWERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



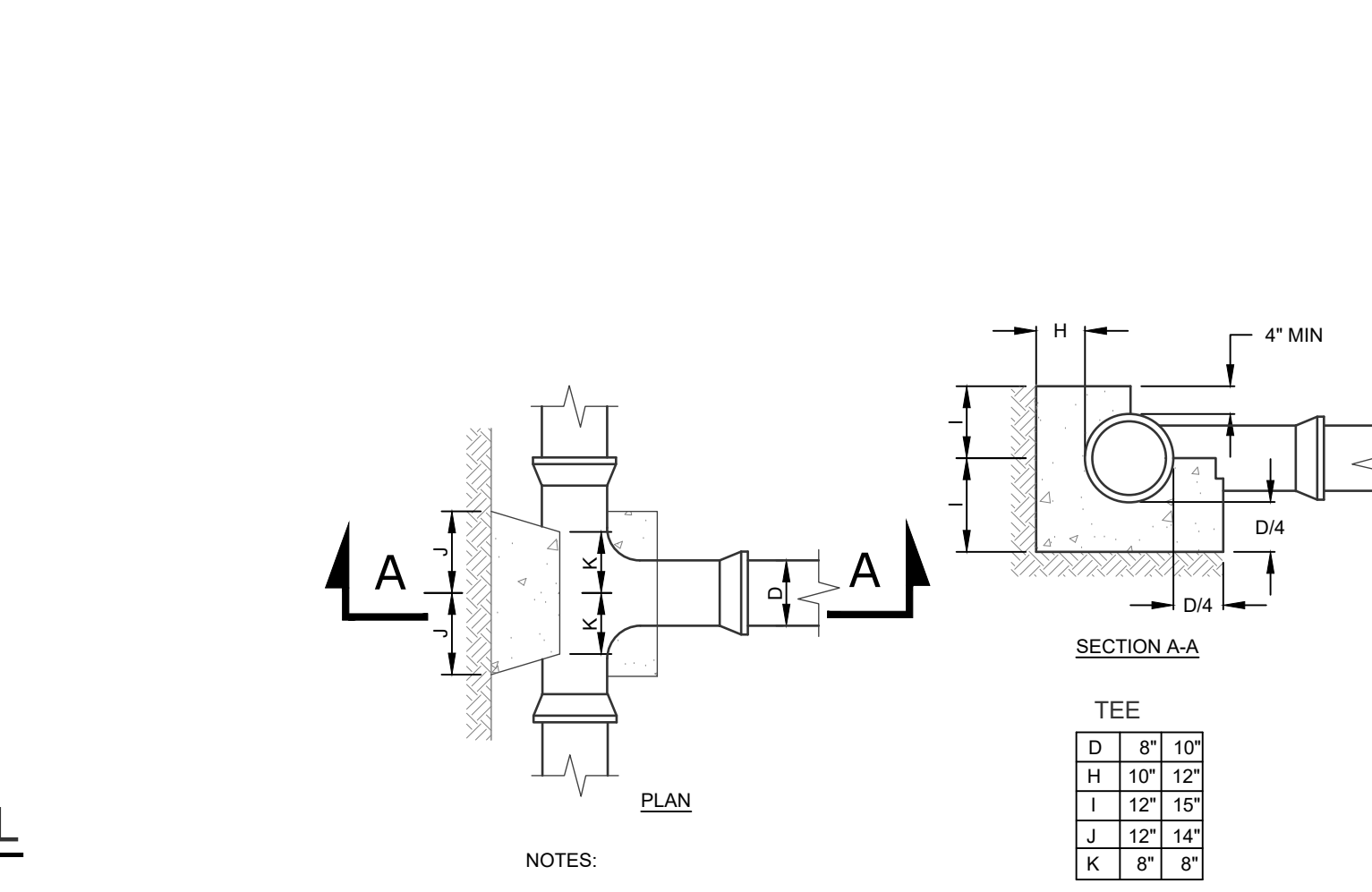
WATER PIPE TRENCH
SCALE: NTS



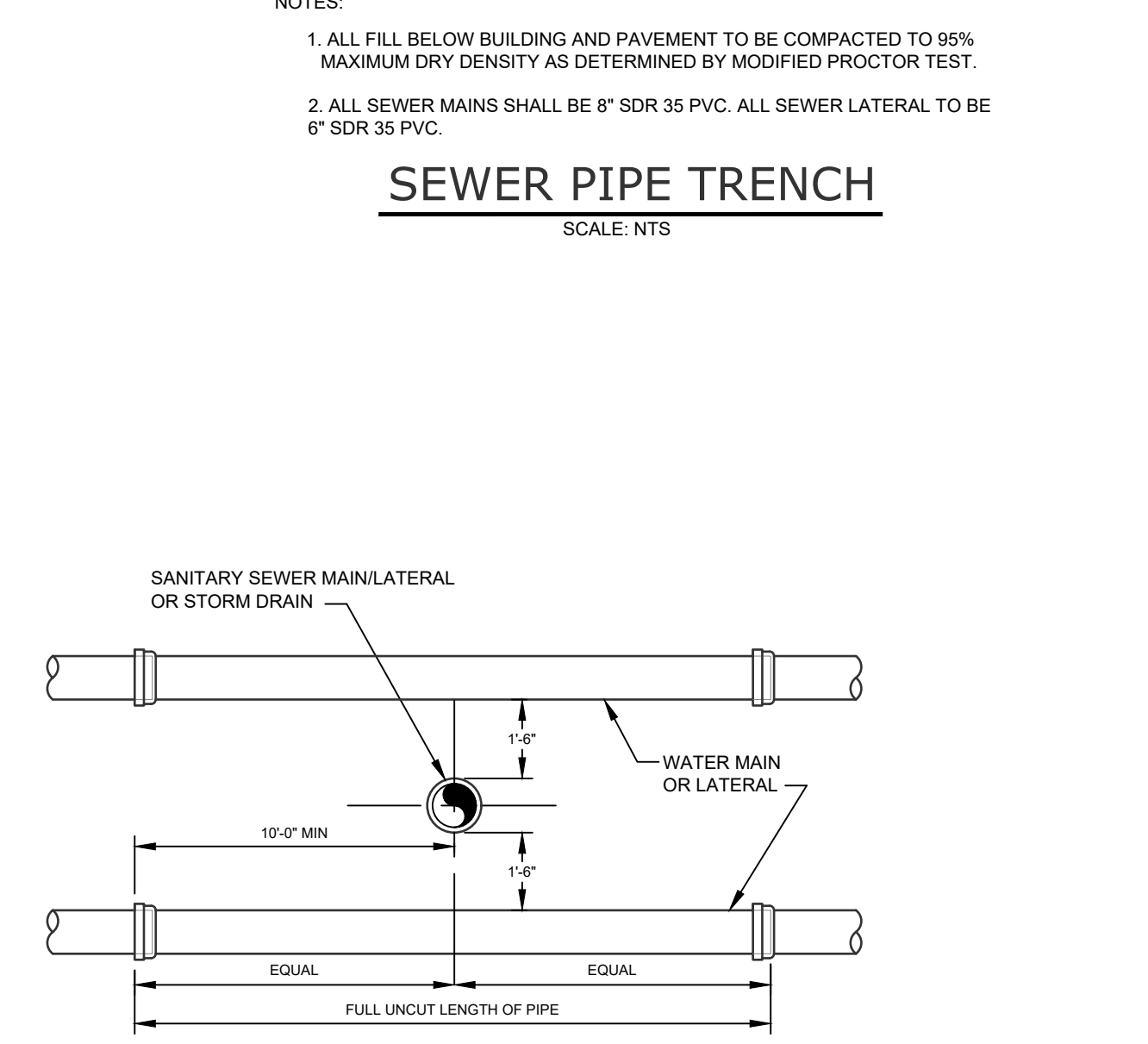
WATER MAIN OFFSET WITH RESTRAINTS
SCALE: N.T.S.



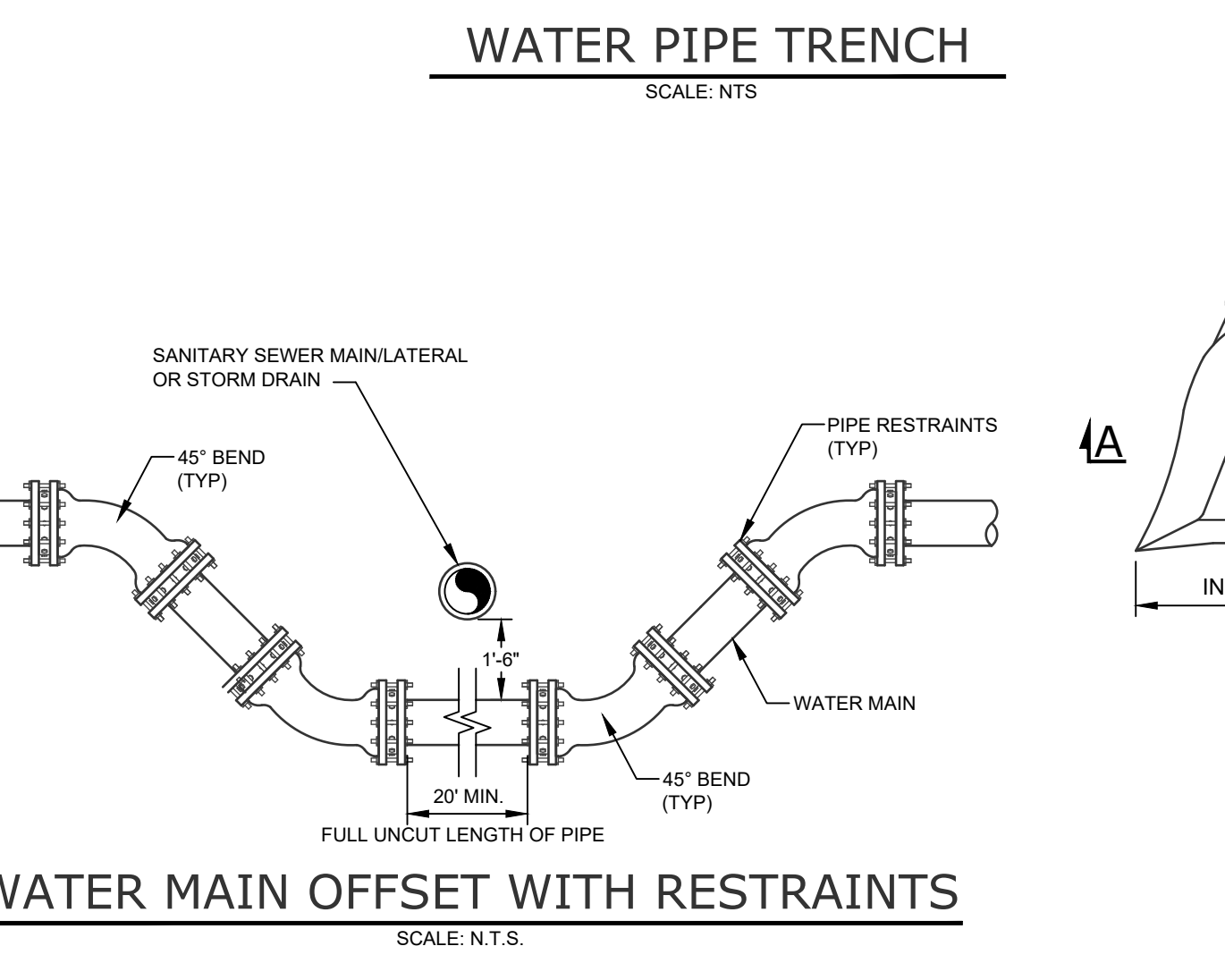
PIPE RESTRAINT (RETAINER GLAND) DETAIL
SCALE: NTS



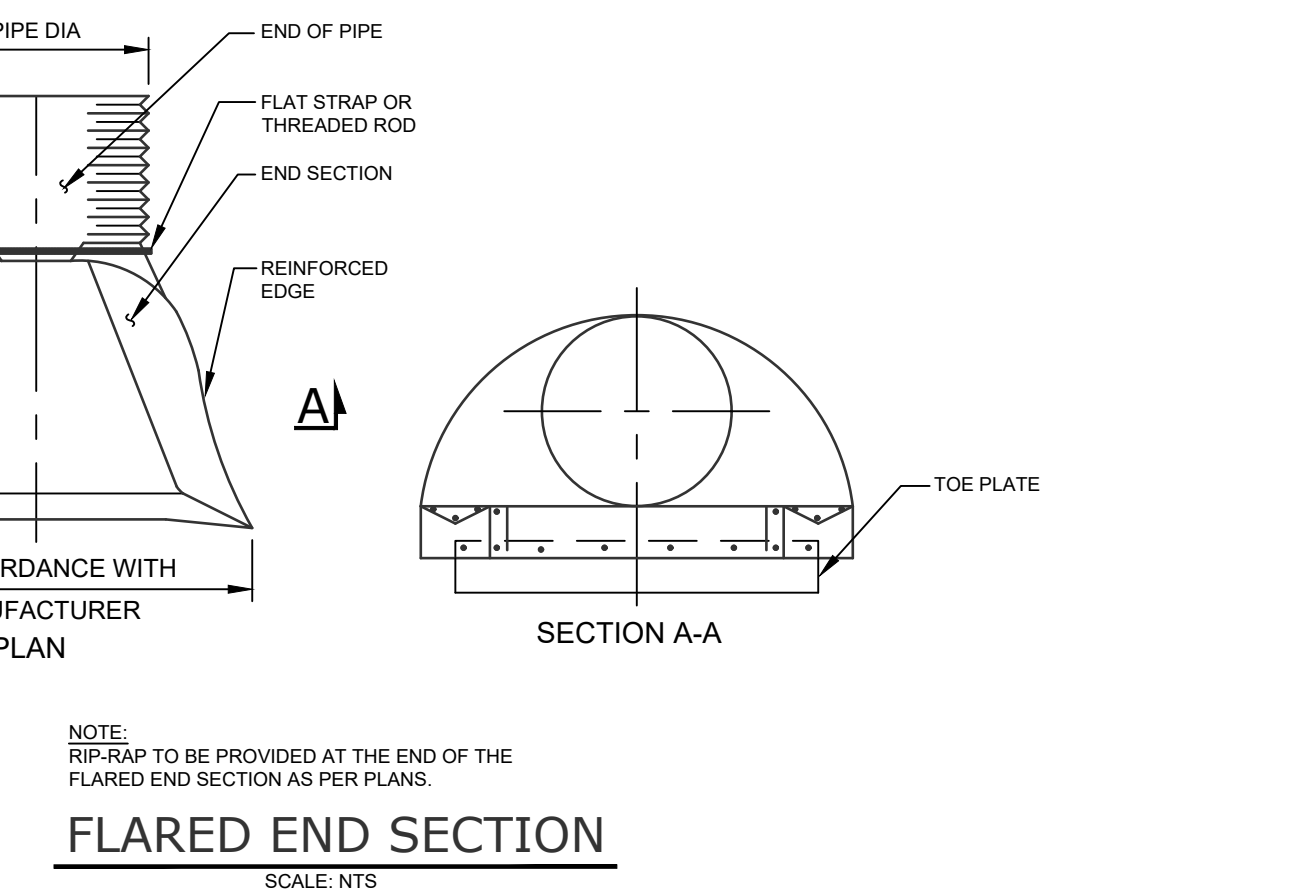
THRUST BLOCK
SCALE: NTS



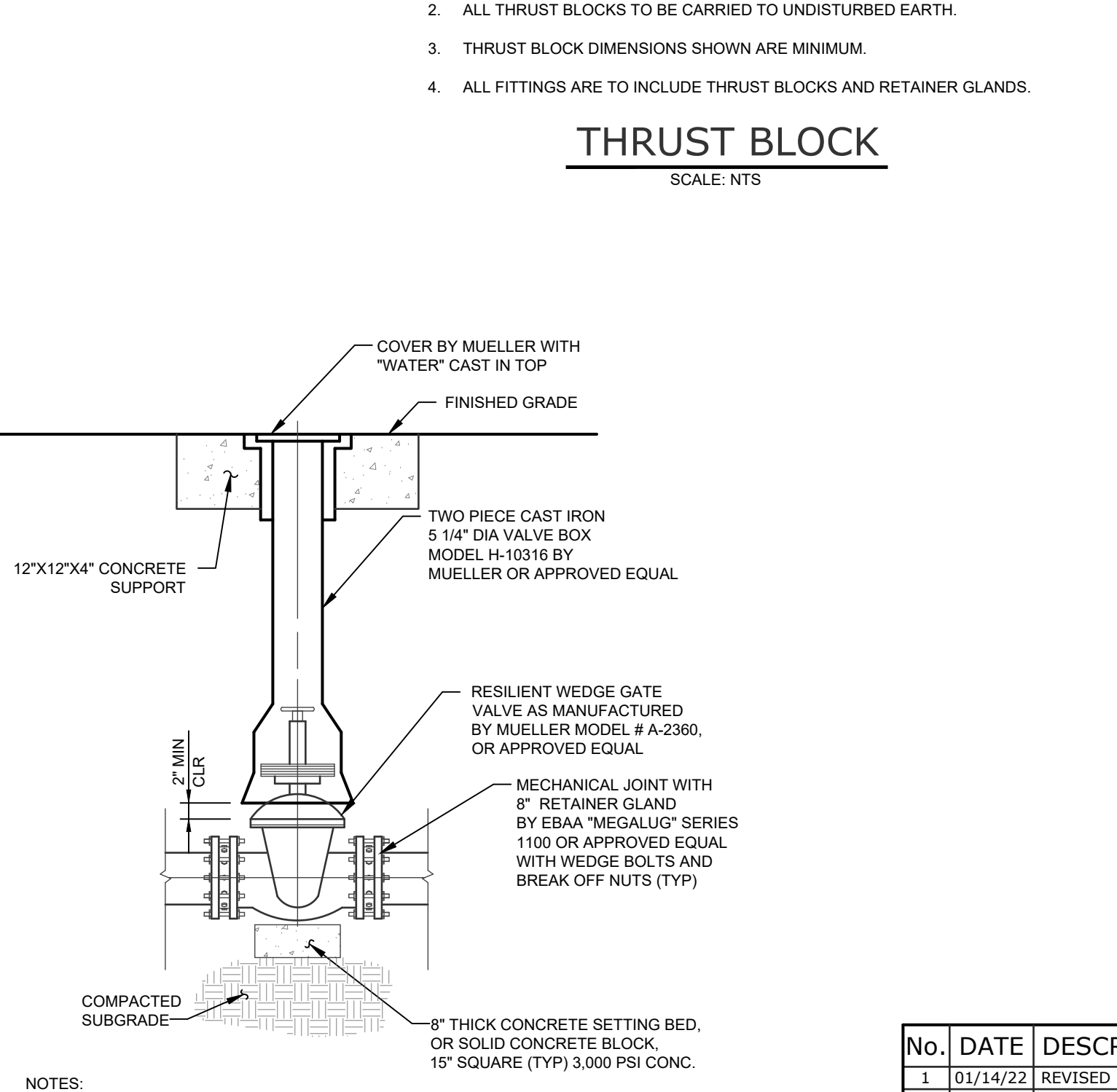
SEWER PIPE TRENCH
SCALE: NTS



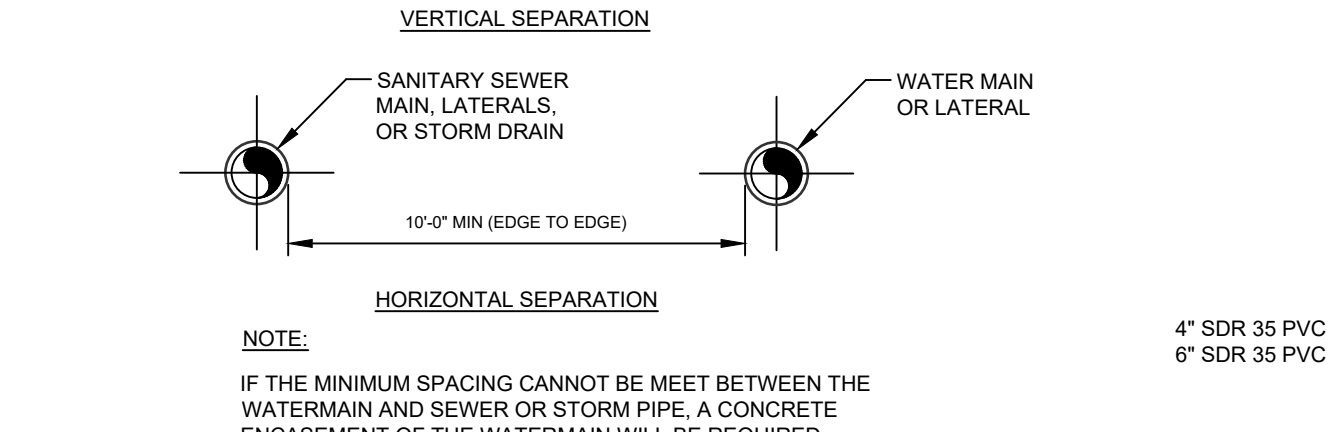
WATER MAIN OFFSET WITH RESTRAINTS
SCALE: N.T.S.



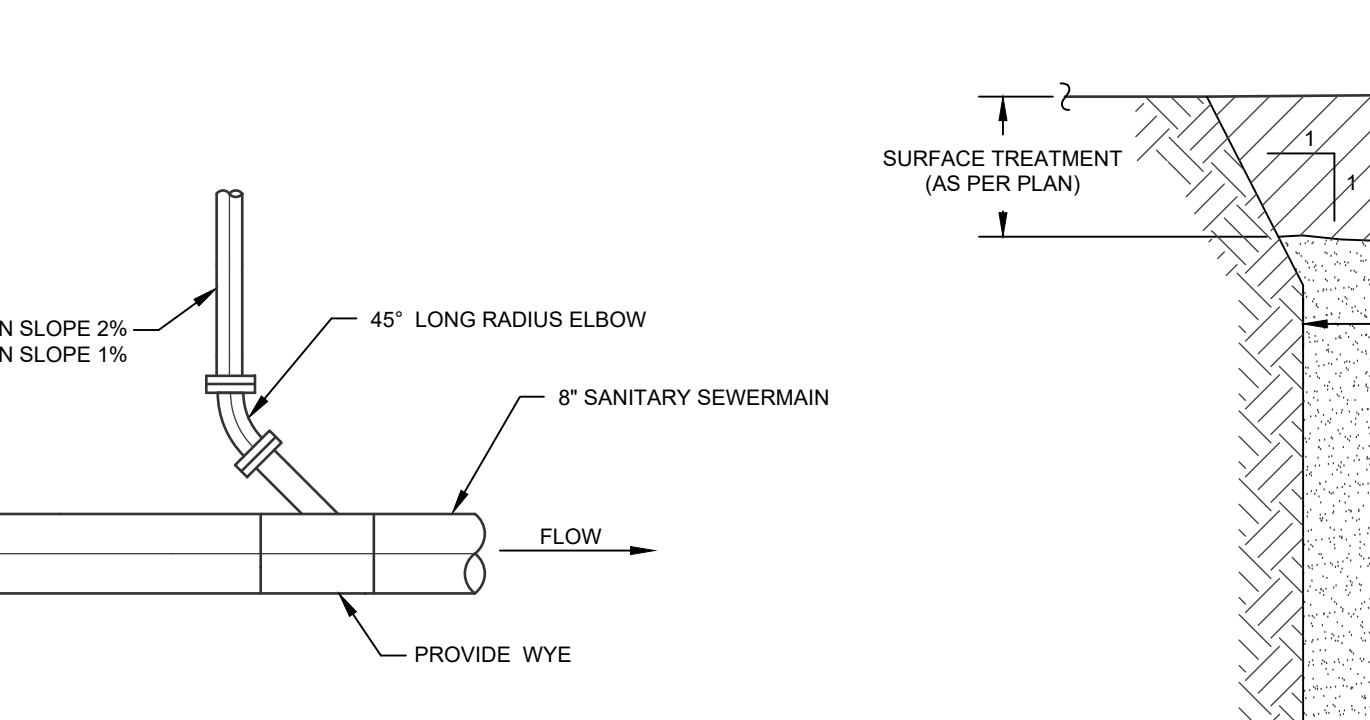
FLARED END SECTION
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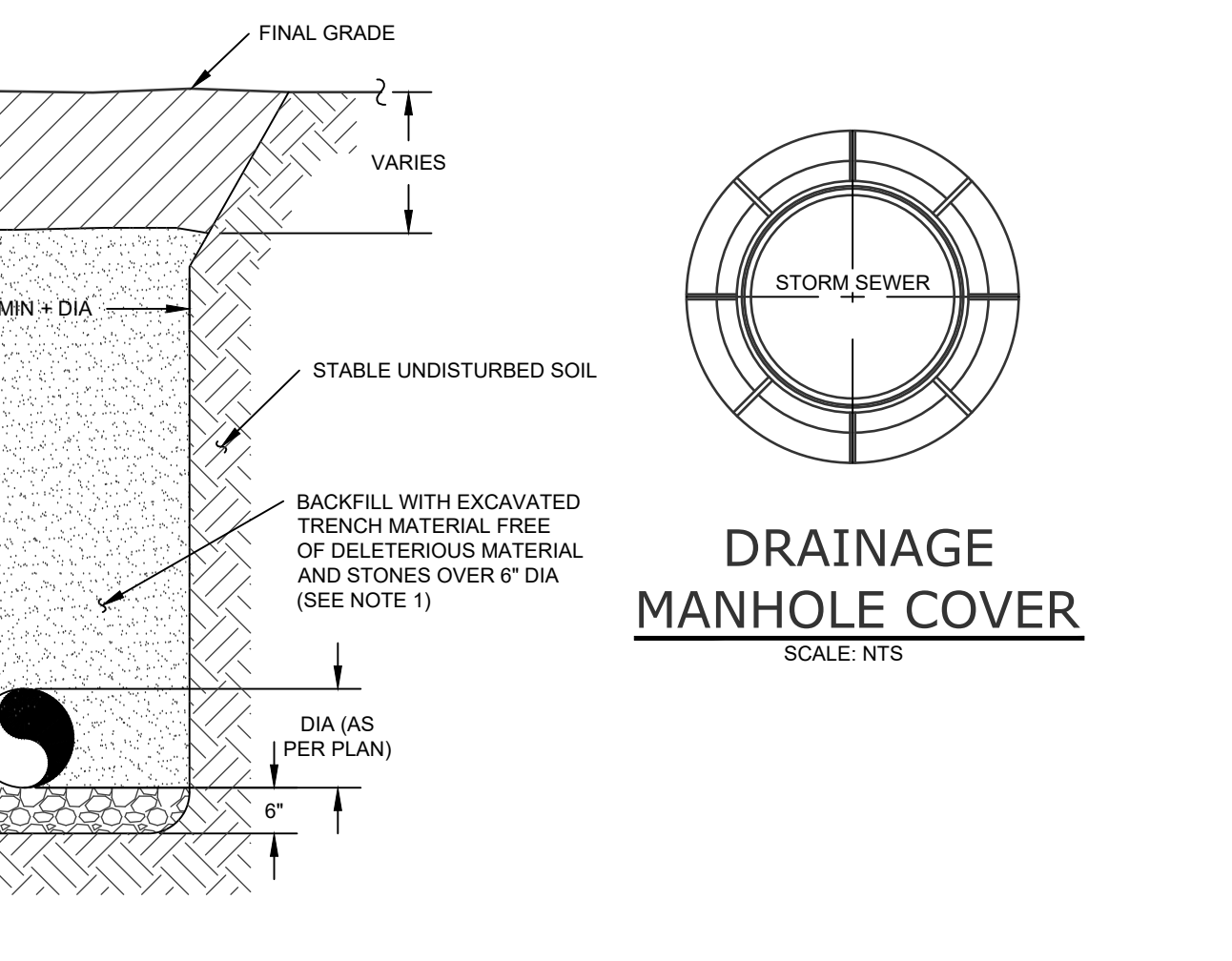
VALVE AND VALVE BOX
SCALE: NTS



WATER/SEWER SEPARATION REQUIREMENTS
SCALE: NTS



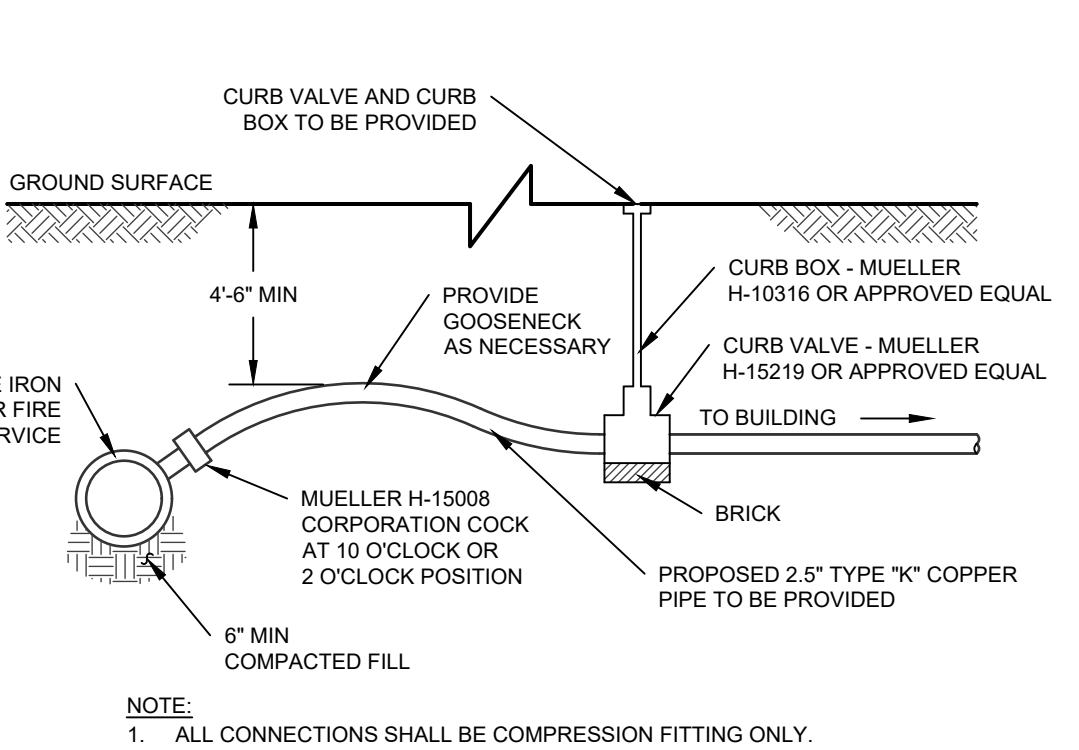
SEWER SERVICE CONNECTION
SCALE: NTS



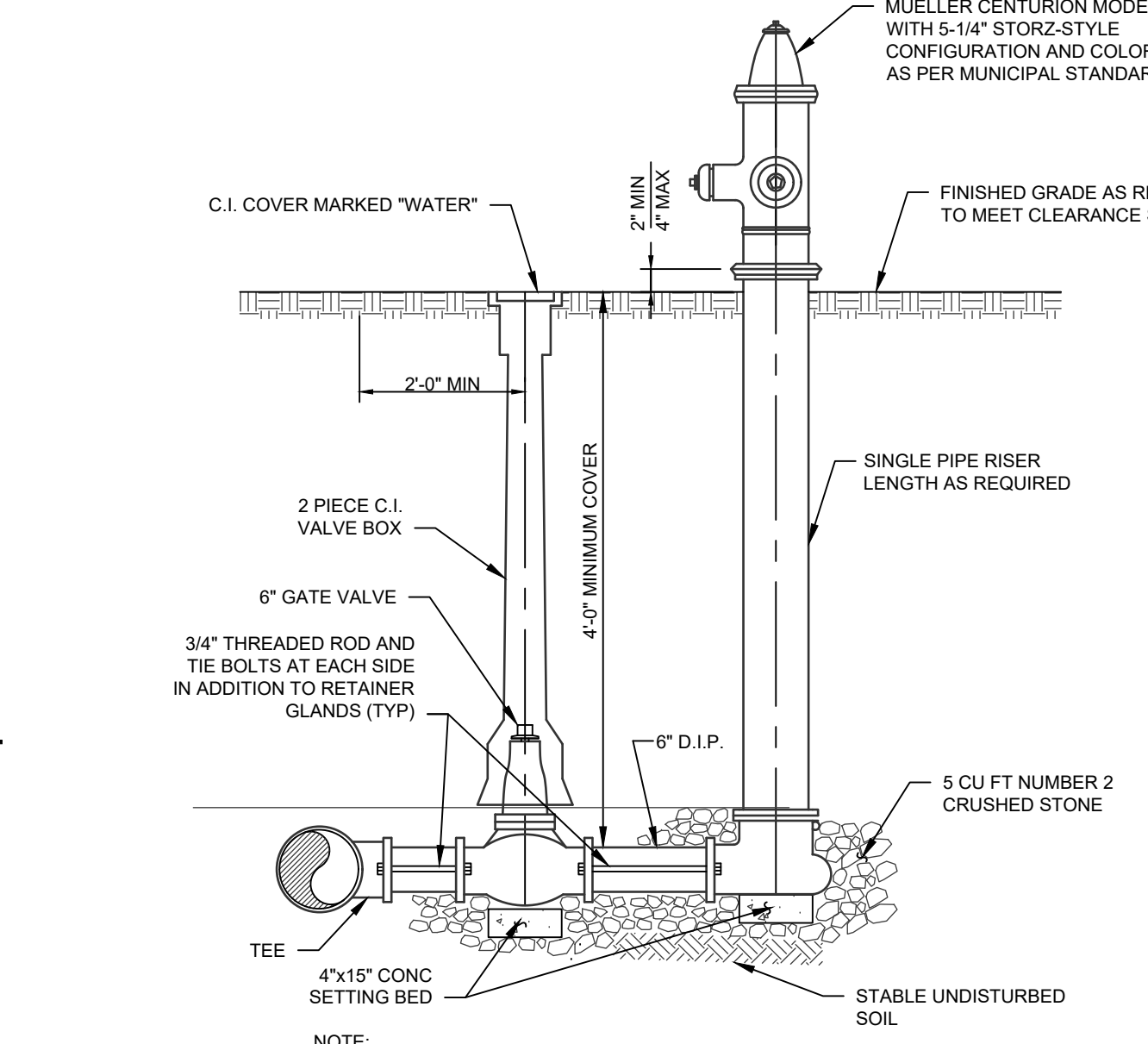
DRAINAGE PIPE TRENCH
SCALE: NTS

WATER SYSTEM NOTES

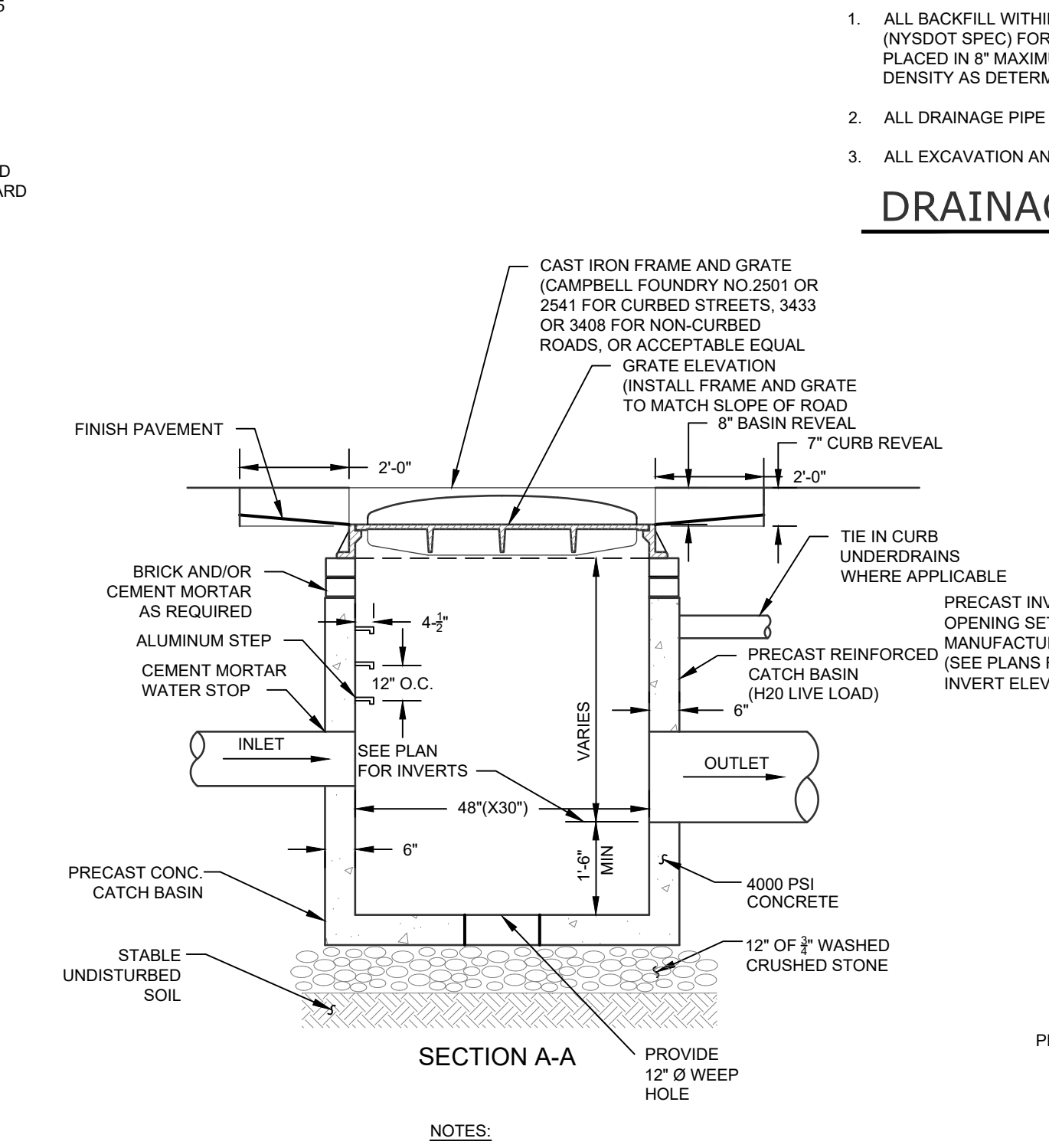
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING WATER AND SEWER UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO CALL UNDERGROUND MARK-OUT AT LEAST 2 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT 1-800-962-7962 FOR COMPLETE UTILITIES MARKOUT.
- CONTRACTOR TO CONTACT VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS AT LEAST 2 DAYS PRIOR TO CONSTRUCTION.
- WATER MAIN 4" OR LARGER TO BE CLASS 54 BITUMINOUS COATED DOUBLE CEMENT LINED DUCTILE IRON PIPE.
- CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY DEVIATION FROM HORIZONTAL OR VERTICAL ALIGNMENTS WITH REGARDS TO EXISTING UTILITIES BEFORE PROCEEDING.
- A CERTIFIED AS-BUILT MAP OF THE WATER SYSTEM IMPROVEMENTS SHALL BE PROVIDED TO THE VILLAGE OF MONTGOMERY WATER DEPARTMENT BY A LICENSED DESIGN PROFESSIONAL.
- THIS PROJECT HAS DEMONSTRATED AN AVAILABLE FLOW OF 2.07 GALLONS PER MINUTE WHILE MAINTAINING A MINIMUM OF 20 PSI AT ALL POINTS IN THE DISTRIBUTION SYSTEM. THIS VALUE SHOULD BE COMPARED TO THE NEEDED FIRE FLOW (NFF) FOR THE PROPOSED CONSTRUCTION IN ACCORDANCE WITH THE INSURANCE SERVICES OFFICE (ISO) GUIDELINES. PER THE RECOMMENDED STANDARDS FOR WATER WORKS (NYS SANITY CODE PART 5, APPENDIX 5-A), THE NEEDED FIRE FLOW FOR THE PROPOSED CONSTRUCTION IS 500 GPM AAS PER ISO GUIDELINES.
- ALL PIPE, FITTINGS AND FITTINGS MUST COMPLY WITH THE FEDERAL "SAFE DRINKING WATER ACT," SECTION 1417 WHICH REQUIRES ALL SURFACES IN CONTACT WITH POTABLE WATER CONTAIN NO MORE THAN 0.25% LEAD BY WEIGHT.
- THE VILLAGE OF MONTGOMERY COMMISSIONER OF PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST BE INFORMED OF ANY HYDROSTATIC OR BACTERIOLOGICAL TESTING TO PERMIT THE TESTING TO BE WITNESSED.
- THE VILLAGE OF MONTGOMERY COMMISSIONER OR PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST ACCEPT HYDROSTATIC AND BACTERIOLOGICAL TEST RESULTS AS ADEQUATE.
- THE PROPOSED WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED WATERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



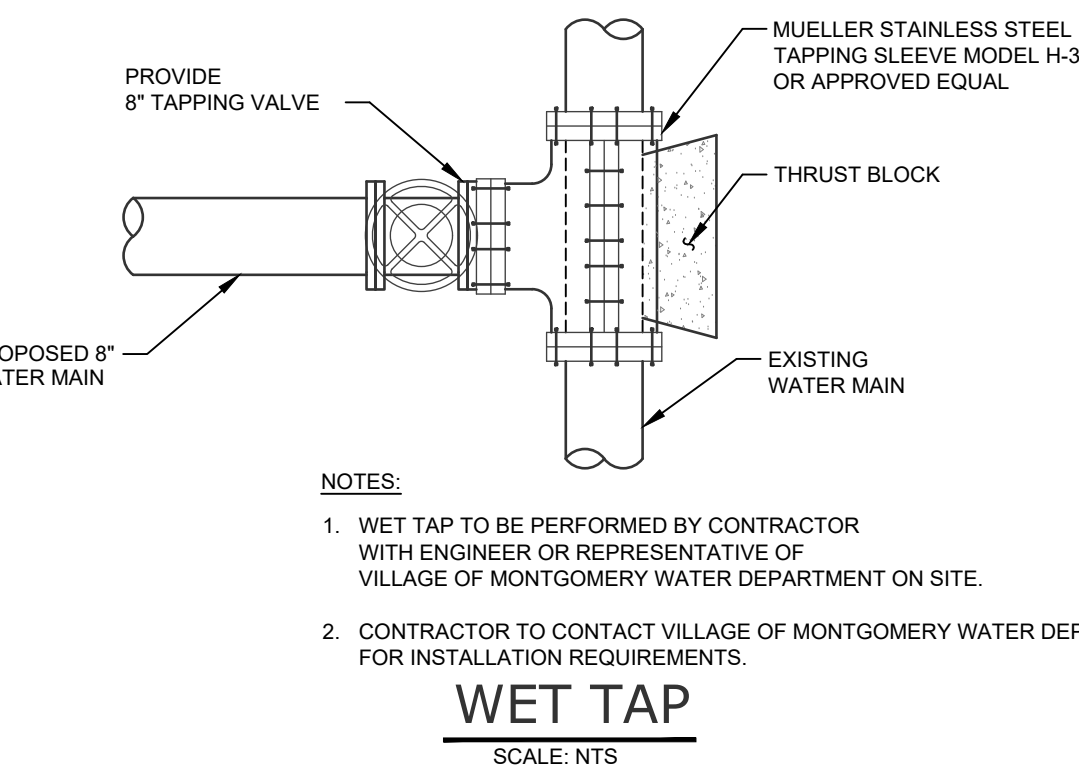
DOMESTIC WATER SERVICE CONNECTION
SCALE: NTS



HYDRANT AND HYDRANT VALVE
SCALE: NTS



CATCH BASIN
SCALE: NTS



WET TAP
SCALE: NTS

- WET TAP TO BE PERFORMED BY CONTRACTOR WITH ENGINEER OR REPRESENTATIVE OF VILLAGE OF MONTGOMERY WATER DEPARTMENT ON SITE.
- CONTRACTOR TO CONTACT VILLAGE OF MONTGOMERY WATER DEPARTMENT FOR INSTALLATION REQUIREMENTS.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/14/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS
10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	12/03/2024
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	13 OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDDT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

ORIGINAL SCALE IN INCHES

ENGINEERING PROPERTIES
Achieving Successful Results with Innovative Designs

71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
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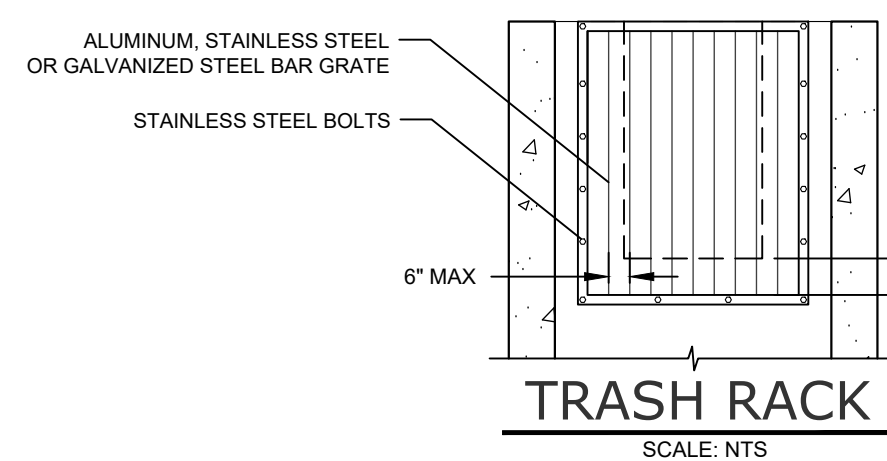
DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

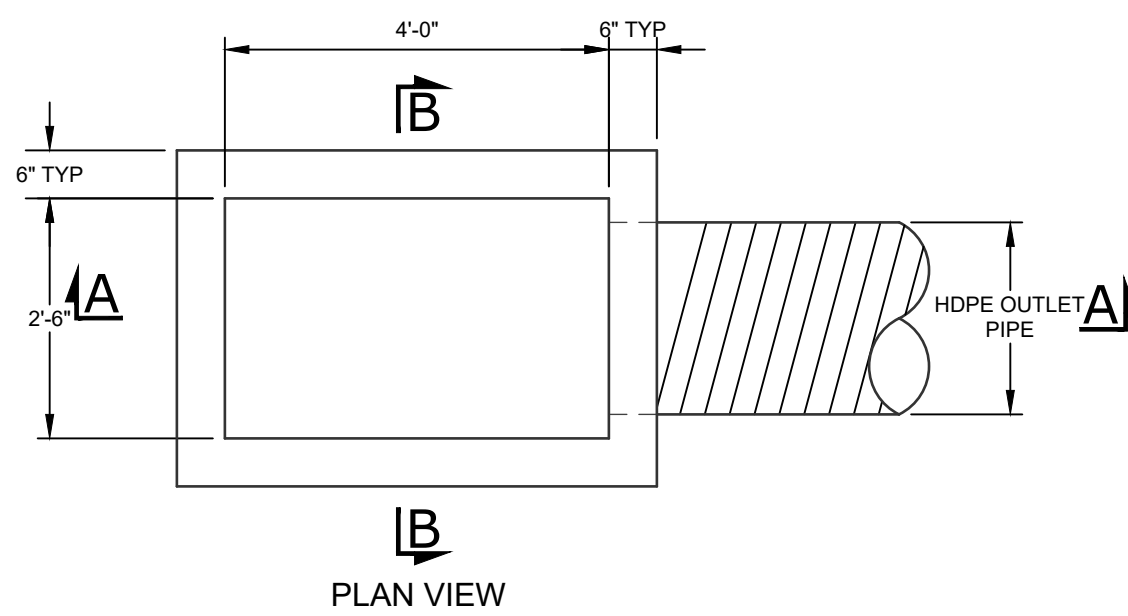
JOB #: 1281.01
DATE: 12/09/2021
REVISION: 10 - 12/03/2024

DRAWN BY: ZS
SCALE: AS NOTED
TAX LOT: 211-1-29-22

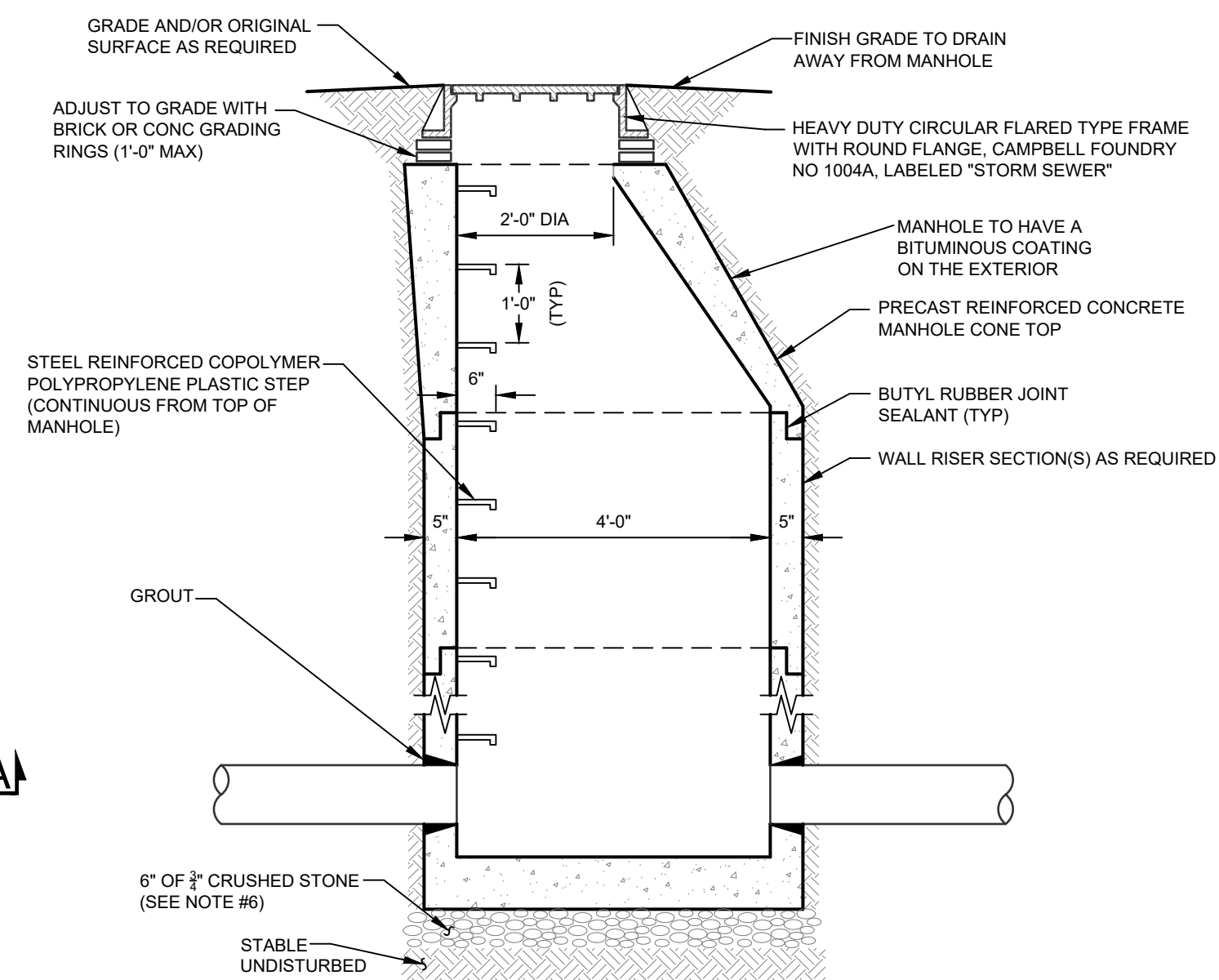
C-301



- NOTES:
1. BAR GRATE TRASH RACKS SHALL BE ALUMINUM, STAINLESS STEEL OR GALVANIZED STEEL, AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
 2. TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.



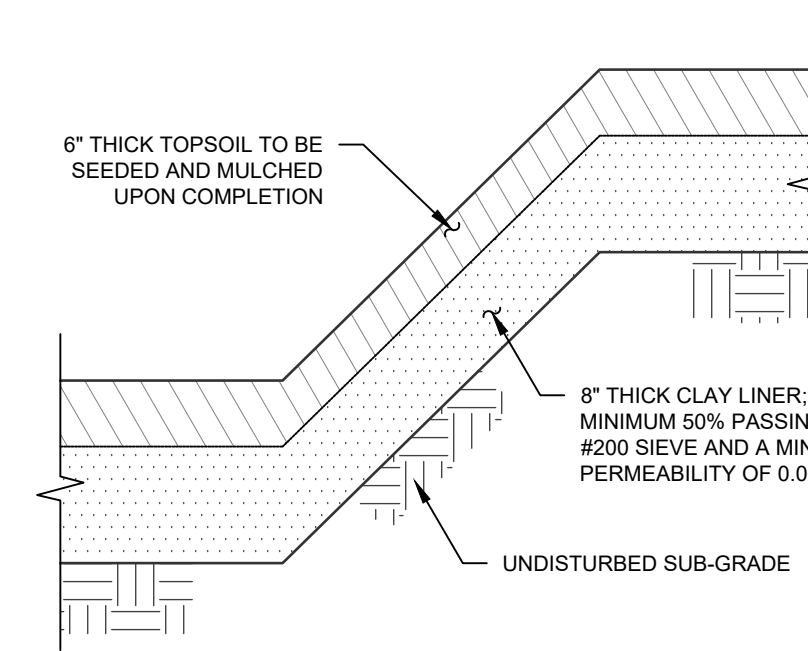
PLAN VIEW



- NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
 2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
 3. CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
 4. ANY MANHOLE WITHIN PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADINGS.
 5. PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL.
 6. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

DRAINAGE MANHOLE

SCALE: N.T.S.



NOTES:

1. THE STORMWATER FOREBAYS SHALL INCLUDE A 6" MINIMUM CLAY LINER OR AN IMPERMEABLE LINER THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

CLAY LINER:

- PERMEABILITY: 1 x 10⁻⁸ CM/S (ASTM D 5084)
- PLASTICITY INDEX OF SOILS: ≥ 15% (ASTM D 4316)
- LIQUID LIMIT OF SOILS: ≥ 30% (ASTM D 4316)
- PASSING OF 200 SIEVE: ≥ 50% (ASTM D 422)
- MAXIMUM PARTICLE SIZE: 2"
- COMPACTION: ≥ 95% OF MAXIMUM DRY DENSITY (ASTM D 1557) ± 3.0% OF OPTIMUM MOISTURE CONTENT (ASTM D 1557)

ALTERNATIVE IMPERMEABLE LINER

- MINIMUM THICKNESS: 30 MILL (ASTM D 751)
- TENSILE STRENGTH: 1,100 LBS (ASTM D 412)
- ELONGATION: 200% (ASTM D 412)
- TEAR RESISTANCE: 150 LBS/IN (ASTM D 624)
- PERMEABILITY: 1 x 10⁻³ CM/S (ASTM D 814)

CLAY FOREBAY POND LINER

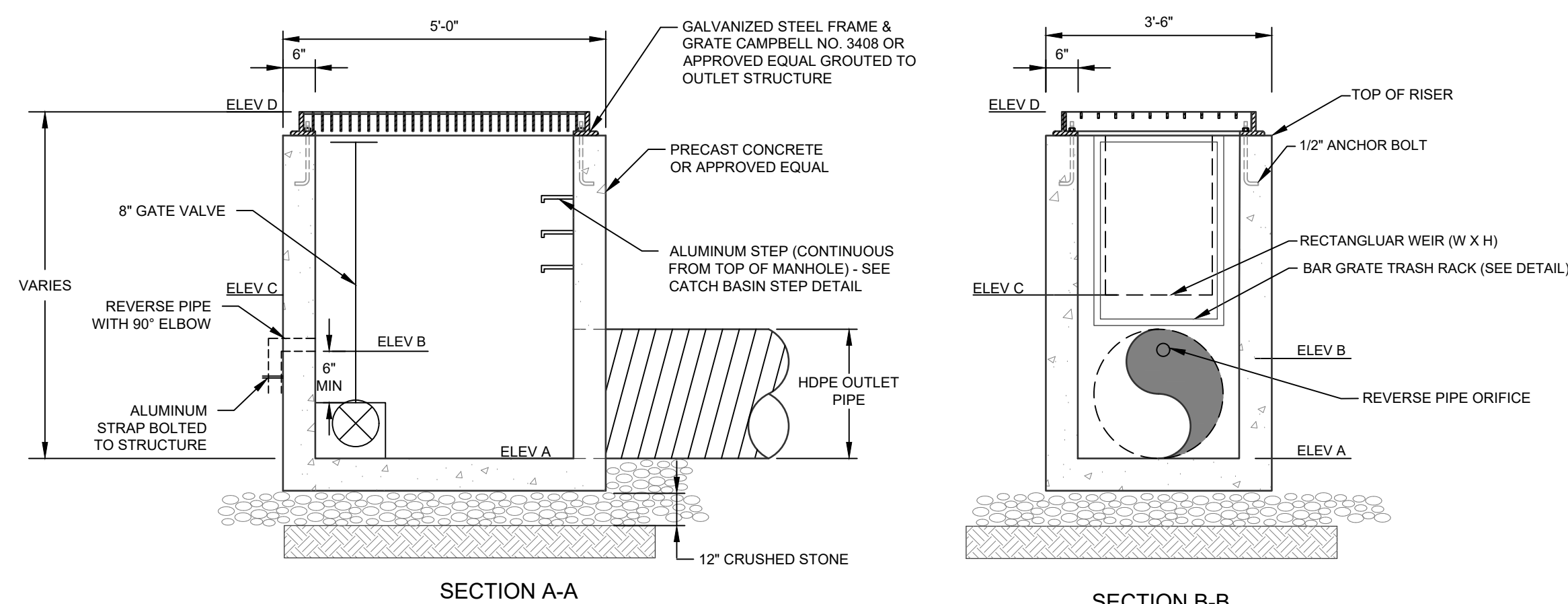
SCALE: N.T.S.

INFILTRATION TEST RESULTS

TEST HOLE #	TEST HOLE DEPTH	TEST HOLE DIA.	TIME	INFILTRATION TEST RUNS (WATER DROP IN INCHES OVER ONE HOUR)				AVERAGE DROP
				START	9:38 AM	10:46 AM	11:54 AM	
02/16/22 IT-01	6'	8"	START	8:47 AM	9:38 AM	10:46 AM	11:54 AM	> 24"
			FINISH	9:38 AM	10:36 AM	11:40 AM	12:19 PM	
02/16/22 IT-02	2'	8"	START	9:11 AM	10:11 AM	11:11 AM	12:11 PM	15.50"
			FINISH	10:11 AM	11:11 AM	12:11 PM	1:11 PM	
02/16/22 IT-03	10'	8"	START	9:40 AM	10:40 AM	11:40 AM	12:40 AM	> 24"
			FINISH	10:40 AM	11:40 AM	12:40 PM	1:40 PM	
02/16/22 IT-04	10'	8"	START	10:15 AM	10:45 AM	11:42 AM	12:08 PM	> 24"
			FINISH	10:45 AM	11:42 AM	12:08 PM	12:14 PM	
02/16/22 IT-05	2'	8"	START	12:10 PM	1:10 PM	2:10 PM	3:10 PM	10.50"
			FINISH	1:10 PM	2:10 PM	3:10 PM	4:10 PM	
02/16/22 IT-06	8'	8"	START	12:05 PM	1:05 PM	1:50 PM	2:15 PM	> 24"
			FINISH	1:05 PM	1:50 PM	2:15 PM	2:23 PM	
02/16/22 IT-07	16'	8"	START	1:56 PM	2:11 PM	2:48 PM	3:20 PM	> 24"
			FINISH	2:11 PM	2:48 PM	3:20 PM	3:38 PM	
02/16/22 IT-08	16'	8"	START	2:39 PM	2:51 PM	3:22 PM	3:36 PM	> 24"
			FINISH	2:51 PM	3:32 PM	3:36 PM	3:41 PM	

DEEP TEST HOLE RESULTS

TEST HOLE #	DATE	DEPTH	DESCRIPTION
INF 01	02/16/2022	0' - 6"	TOPSOIL
		6' - 9"	TAN SANDY LOAM
		9' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 02	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
		6' - 12"	GRAVEL
INF 03	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY LOAM
		3' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 04	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY LOAM
		3' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 05	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM
		6' - 6"	TAN SILTY CLAY LOAM WATER AT 4' - NO MOTTLING, NO ROCK
INF 06	02/16/2022	0' - 6"	TOPSOIL
		6' - 4"	TAN SILTY CLAY LOAM
		4' - 11"	TAN SILTY LOAM WITH GRAVEL WATER AT 11' - NO MOTTLING, NO ROCK
INF 07	02/16/2022	0' - 4"	TOPSOIL
		4' - 3"	TAN SILTY CLAY LOAM
		3' - 8"	BROWN SILTY LOAM BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 08	02/16/2022	0' - 6"	TOPSOIL
		6' - 3"	TAN SILTY CLAY LOAM
		3' - 8"	BROWN LOAM BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK



SECTION A-A

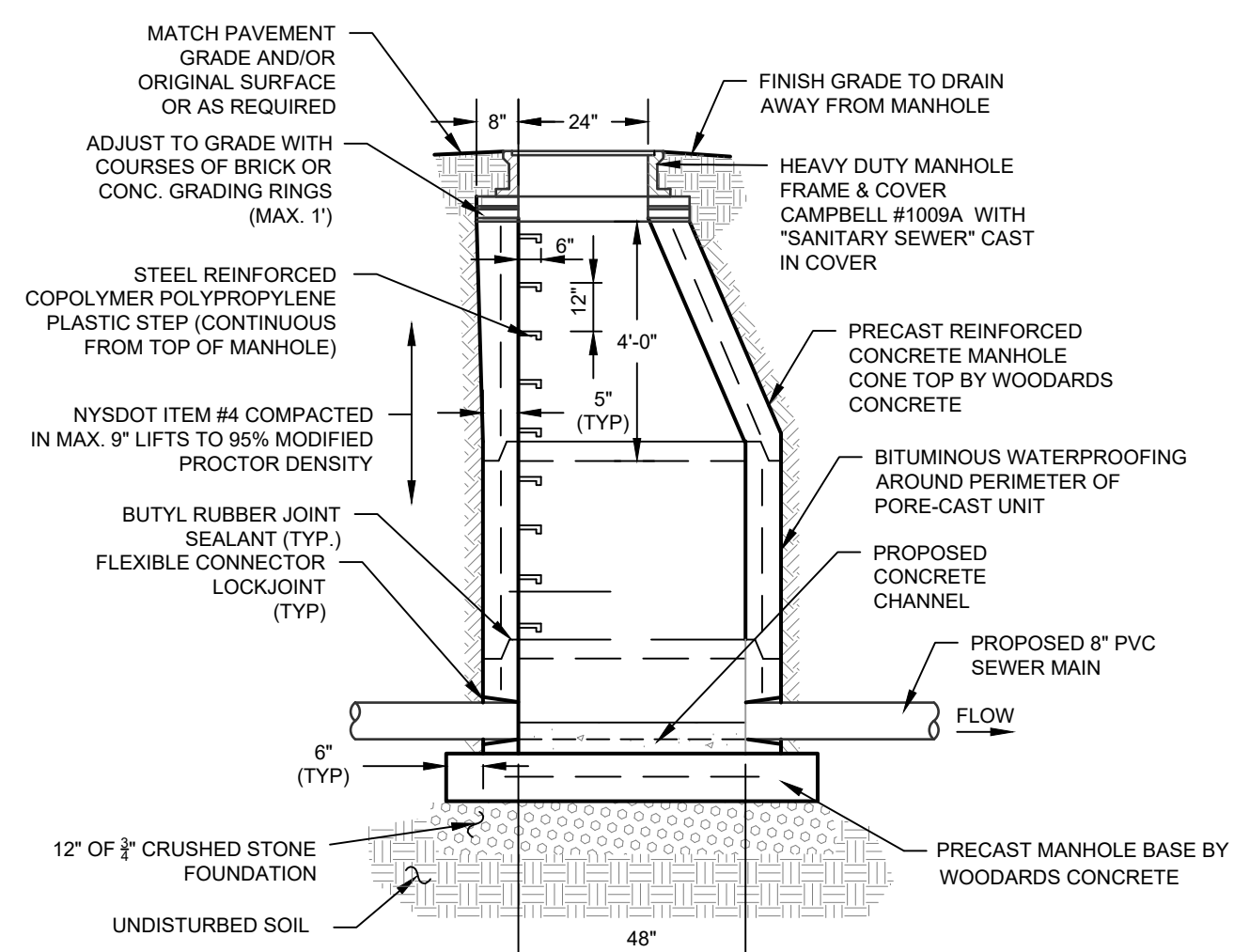
SECTION B-B

POND	CULVERT / ORIFICES		WEIR ELEV C (132/27)	GRATE ELEV D	SPILLWAY ELEVATION	SPILLWAY LENGTH
	ELEV A (B)	ELEV B (B)				
INFILTRATION BASIN (OS A1)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A2)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A3)	378.00 (18")	N/A	N/A	383.00	N/A	N/A
INFILTRATION BASIN (OS A4)	377.00 (18")	N/A	N/A	379.00	N/A	N/A

OUTLET/DIVERSION STRUCTURE(S)

SCALE: N.T.S.

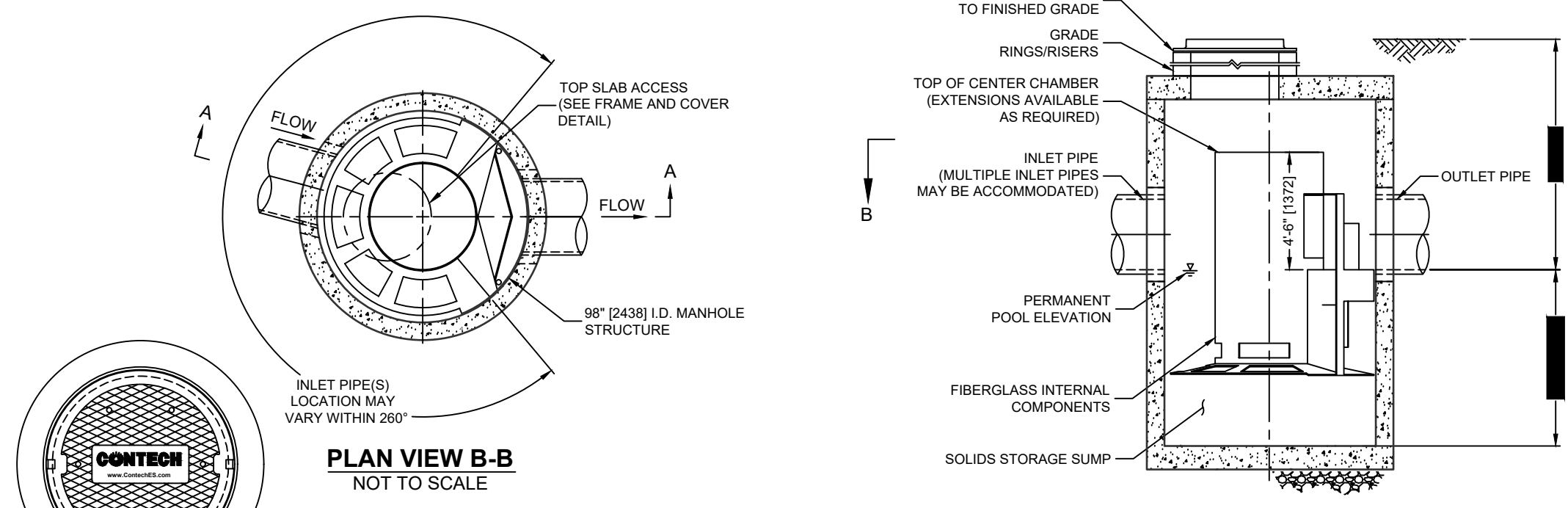
- NOTES:
1. FOR LENGTH AND SLOPE OF OUTLET PIPE SEE PLAN.



- NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
 2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
 3. ALL MANHOLE SECTIONS TO CONFORM WITH ASTM SPECIFICATION C-478.
 4. ALL MANHOLES WITHIN PAVEMENT AREAS SHALL BE DESIGNED TO WITHSTAND HS-20 LOADING.

SEWER MANHOLE

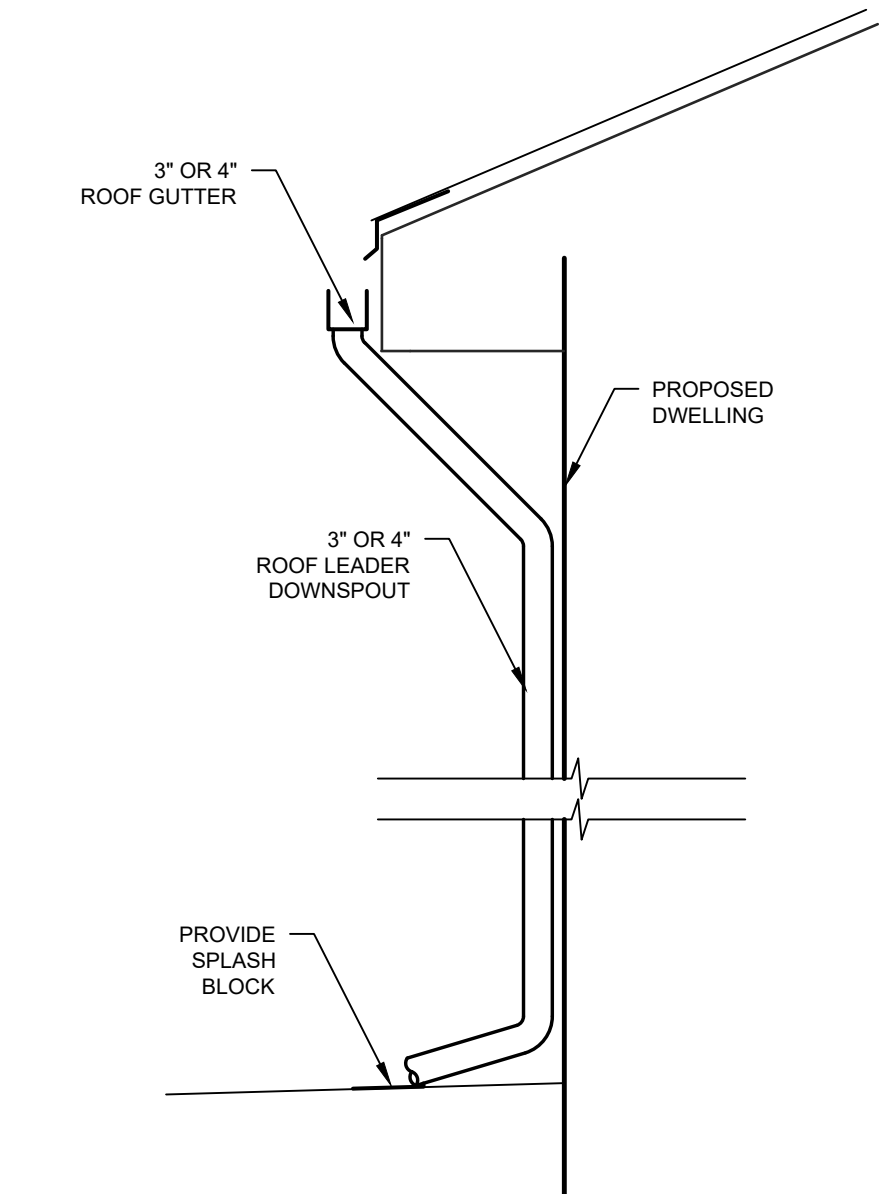
SCALE: N.T.S.



- GENERAL NOTES:
1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAININGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE, www.contechES.com
 3. CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20-108 LOAD RATING, ASSUMING EARTH COVER OF 0 - 2' B10, AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M208 AND BE CAST WITH THE GONCH LOG.
 5. CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM G478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm)
- INSTALLATION NOTES:
- A. ANY SUB-BASE, EXCAVATION DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
 - C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH CASCADE CS-8 HYDRODYNAMIC SEPARATOR

SCALE: N.T.S.



- NOTES:
1. IN ACCORDANCE WITH NYSDEC STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL REAR ROOF LEADER DOWNSPOUTS SHALL DISCHARGE EFFLUENT ALONG THE SURFACE FOR INFILTRATION.
 2. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED.
 3. HOMEOWNERS ASSOCIATION SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

ROOF LEADER AND SPLASH BLOCK

SCALE: N.T.S.



No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
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PLANNING BOARD APPROVAL		14 OF 16
OCDDH REALTY SUBDIVISION APPROVAL		N/A OF N/A
OCDDH WATERMAIN EXTENSION APPROVAL		N/A OF N/A
NYSDEC APPROVAL		N/A OF N/A
NYSDOT APPROVAL		N/A OF N/A
OTHER		N/A OF N/A
FOR BID		N/A OF N/A
FOR CONSTRUCTION		N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

ORIGINAL SCALE IN INCHES

ENGINEERING PROPERTIES
Achieving Successful Results with Innovative Designs

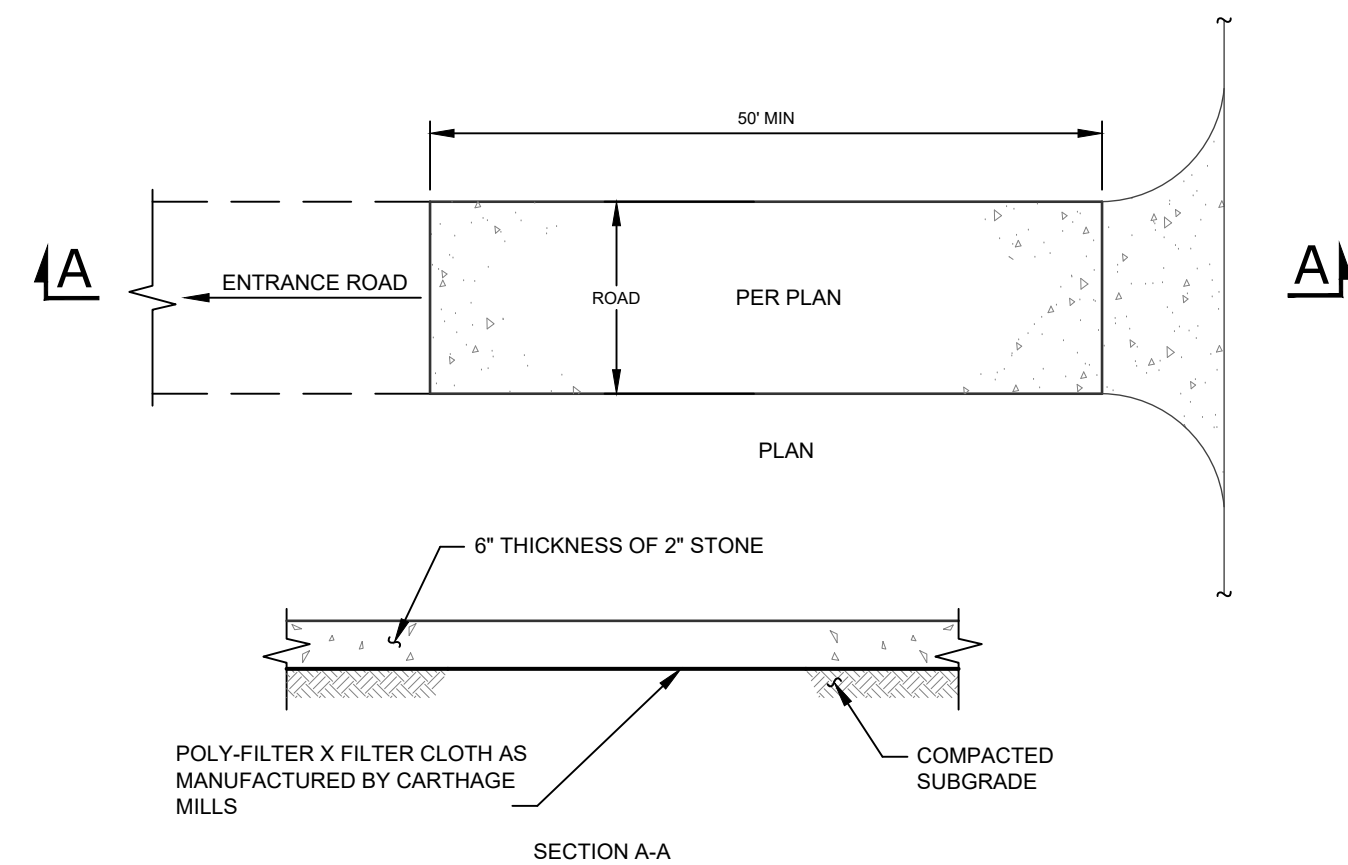
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
Fax: (845) 457-1899

DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

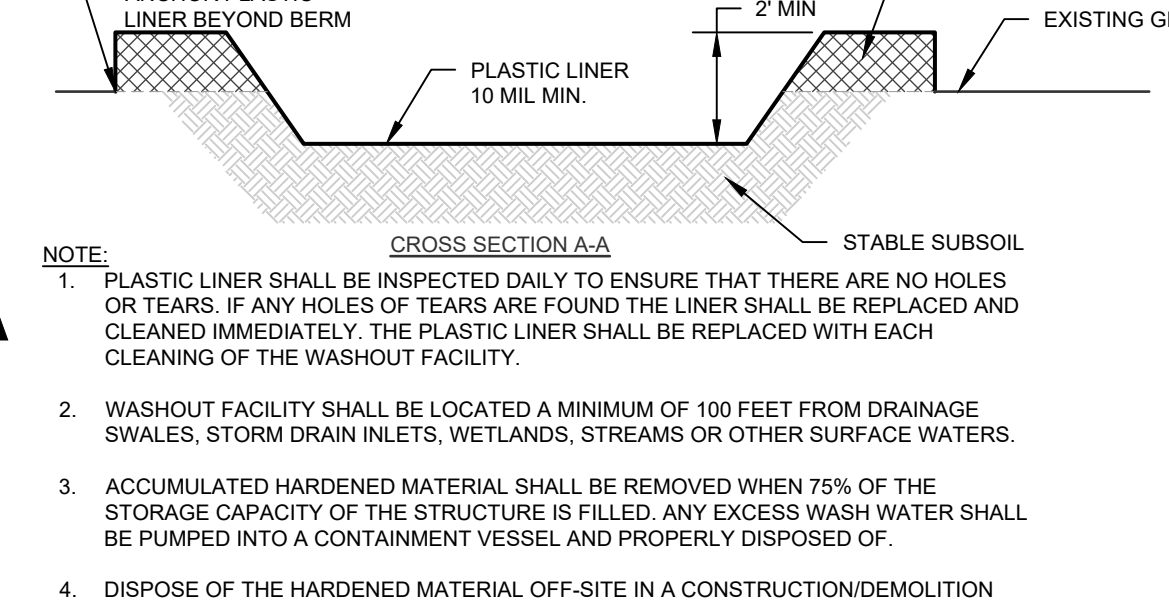
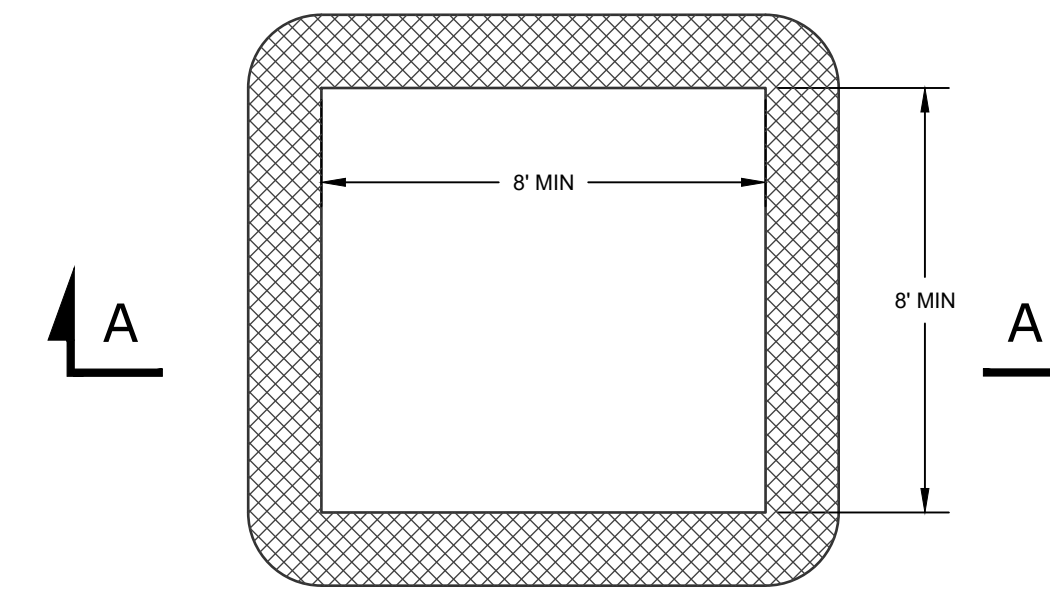
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DATE: 12/09/2021
SCALE: AS NOTED
REVISION: 10 - 12/03/2024
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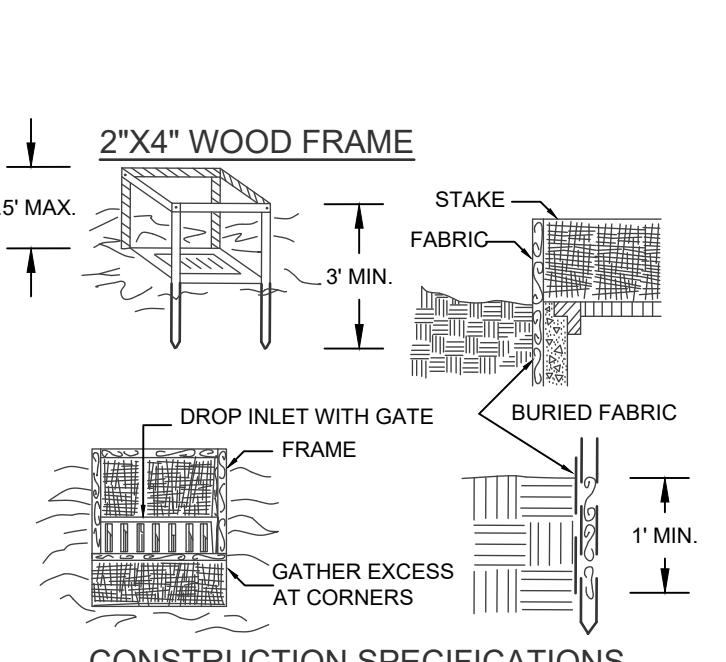
- NOTES:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS



- NOTE:**
- PLASTIC LINER SHALL BE INSPECTED DAILY TO ENSURE THAT THERE ARE NO HOLES OR TEARS. IF ANY HOLES OR TEARS ARE FOUND THE LINER SHALL BE REPLACED AND CLEANED IMMEDIATELY. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 - WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS OR OTHER SURFACE WATERS.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF.
 - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION

CONCRETE WASHOUT
SCALE: NTS

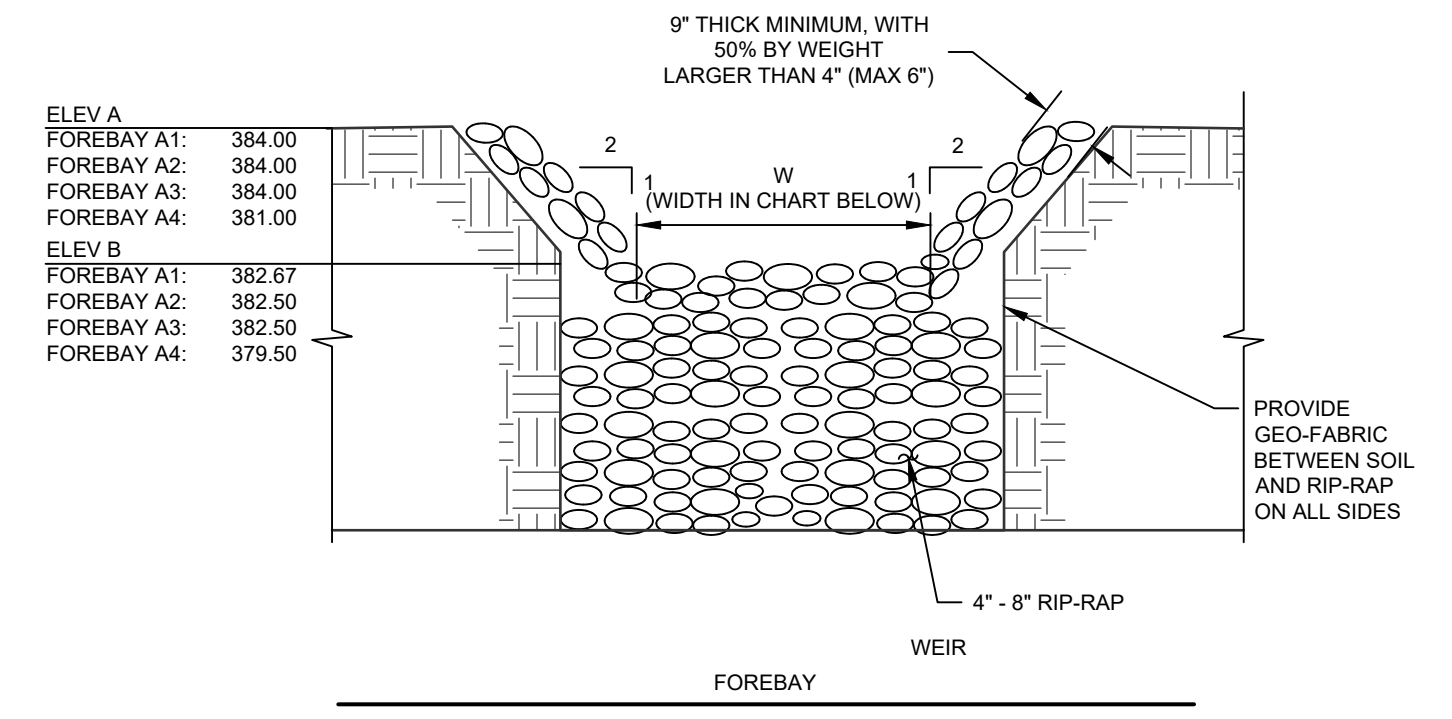


- CONSTRUCTION SPECIFICATIONS:**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" X 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE.

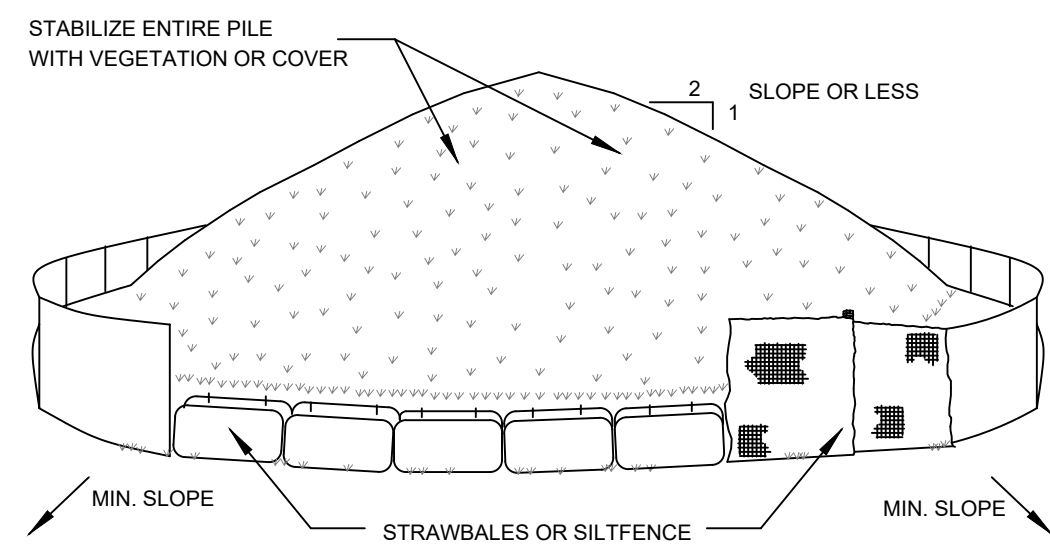
FILTER FABRIC DROP INLET PROTECTION
NOT TO SCALE

OUTLET PROTECTION SIZING CALCULATIONS

END SECTION	Dia. (ft)	Q _{max} (cfs)	V _{max} (ft/s)	D ₅₀ (ft)	D _{max} (ft)	L (ft)	W (ft)	T (ft)	H (ft)
FES A2	18	21.3	12.1	9	13	20	21.5	18	18
FES A4	18	15.1	8.5	6	9	14	15.5	18	18
FES 4	24	29.6	9.4	7	11	18	20	24	24
FES 11	15	6.4	6.8	5	8	10	11.25	15	15
FES 18	24	67.2	27.8	18	27	32	34	24	24
FES 23	24	38.9	12.4	10	15	22	24	24	24
FES 31	24	29.6	9.4	8	11	18	20	24	24
FES 38	24	29.7	9.5	8	11	18	20	24	24
FES 47	18	34.9	19.7	14	20	23	24.5	18	18

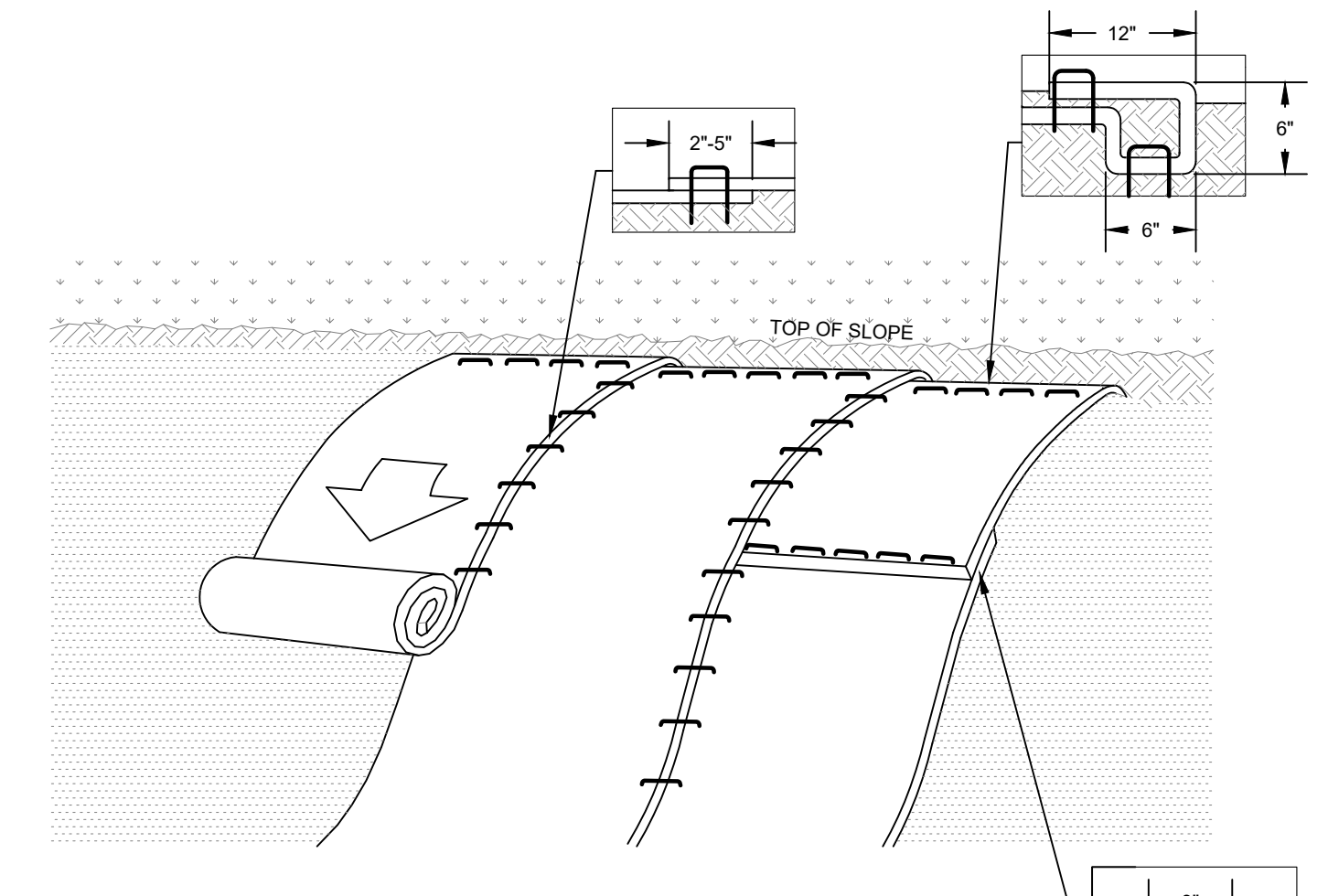


OVERFLOW WEIR(S)
SCALE: NTS



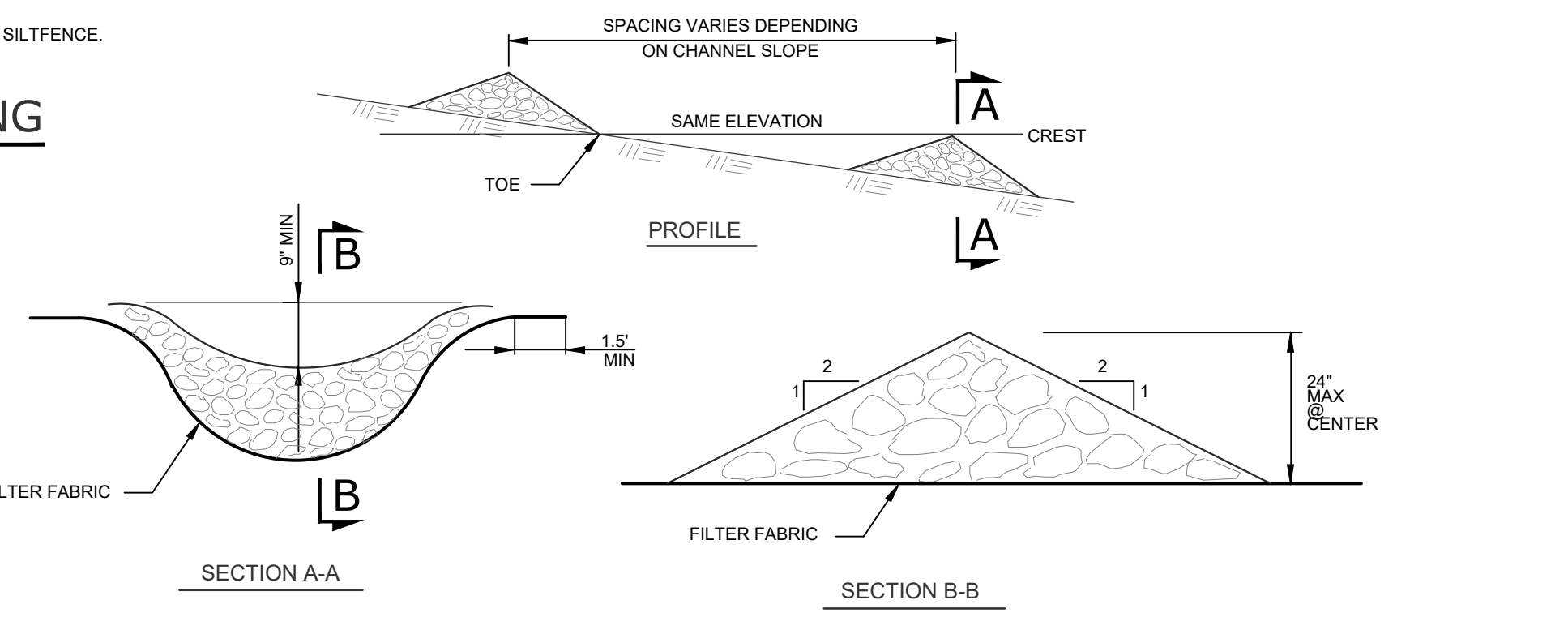
- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCINGS OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
SCALE: NTS



- NOTES:**
- ROLLED EROSION CONTROL PRODUCT (RECP'S) SHALL BE USED ON ALL CONSTRUCTED SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL.
 - PREPARATION OF THE SOIL INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY RECP'S.
 - INSTALL RECP - NORTH AMERICAN GREEN BIOMAT S1508R OR APPROVED EQUAL. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACE APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
 - ROLL THE RECP'S DOWN THE SLOPE OR HORIZONTALLY ACROSS THE SLOPE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE PRODUCTS STAPLE PATTERN GUIDE.
 - THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" TO 5" OVERLAP DEPENDING ON RECP'S TYPE.
 - CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE RECP'S WIDTH.

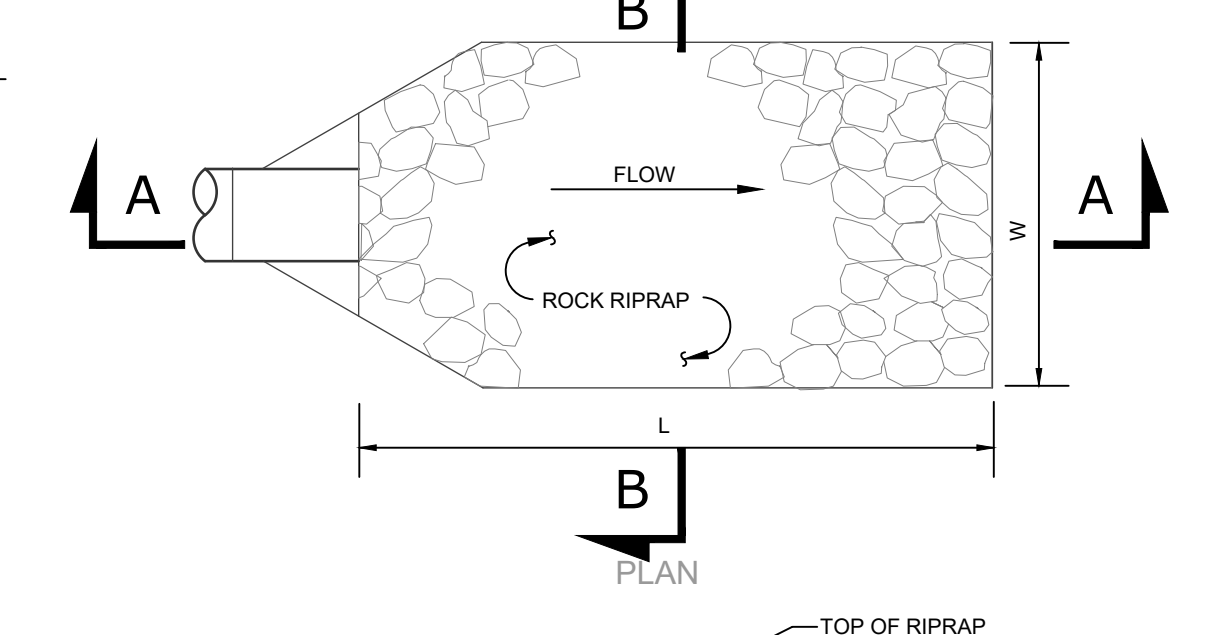
SLOPE STABILIZATION (ROLLED EROSION CONTROL PRODUCT)
SCALE: NTS



CONSTRUCTION SPECIFICATIONS:

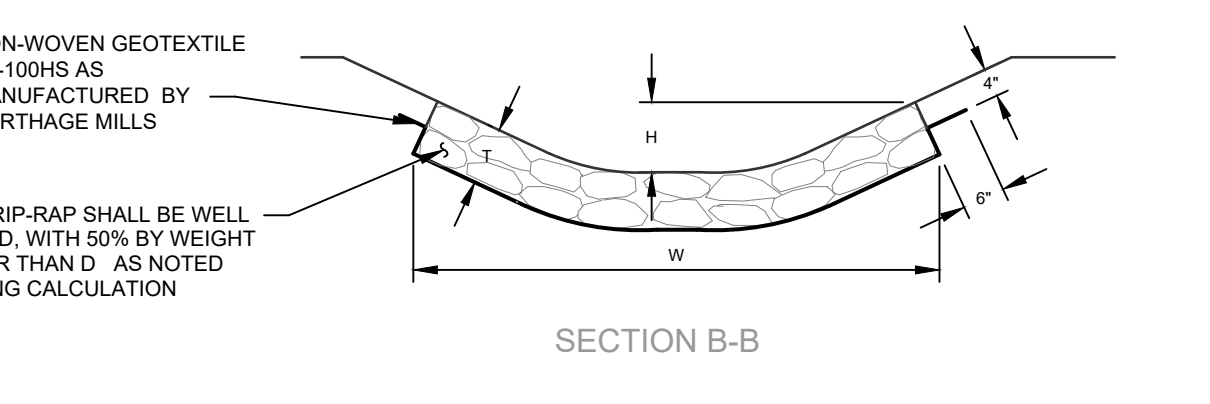
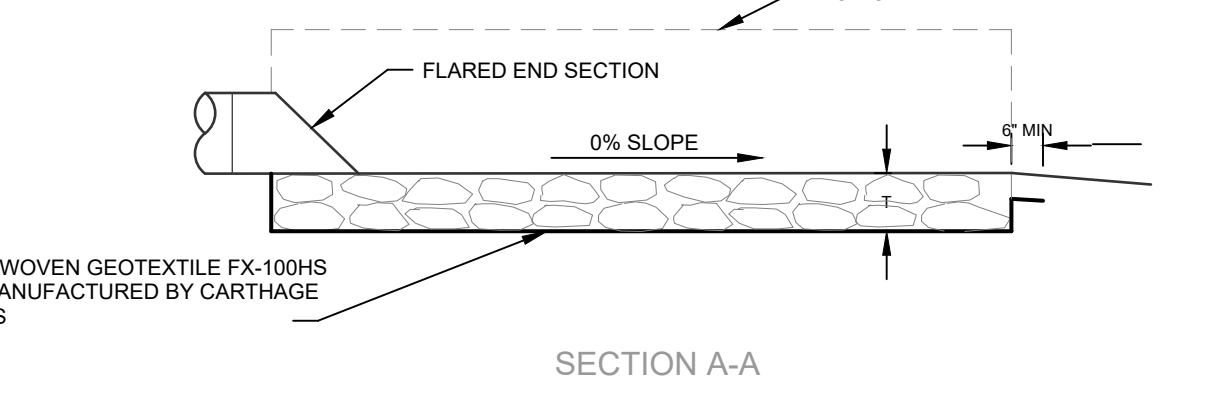
- STONE SHALL BE MAXIMUM SIZE OF 12" WITH 50 TO 100 PERCENT BY WEIGHT LARGER THAN 6" AND 0 TO 10 PERCENT SMALLER THAN 1/2".
- FILTER FABRIC SHALL BE POLY-FILTER X CLOTH AS MANUFACTURED BY CARTHAGE MILLS
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION AT LOCATIONS SHOWN ON THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

STONE CHECK DAM
SCALE: NTS

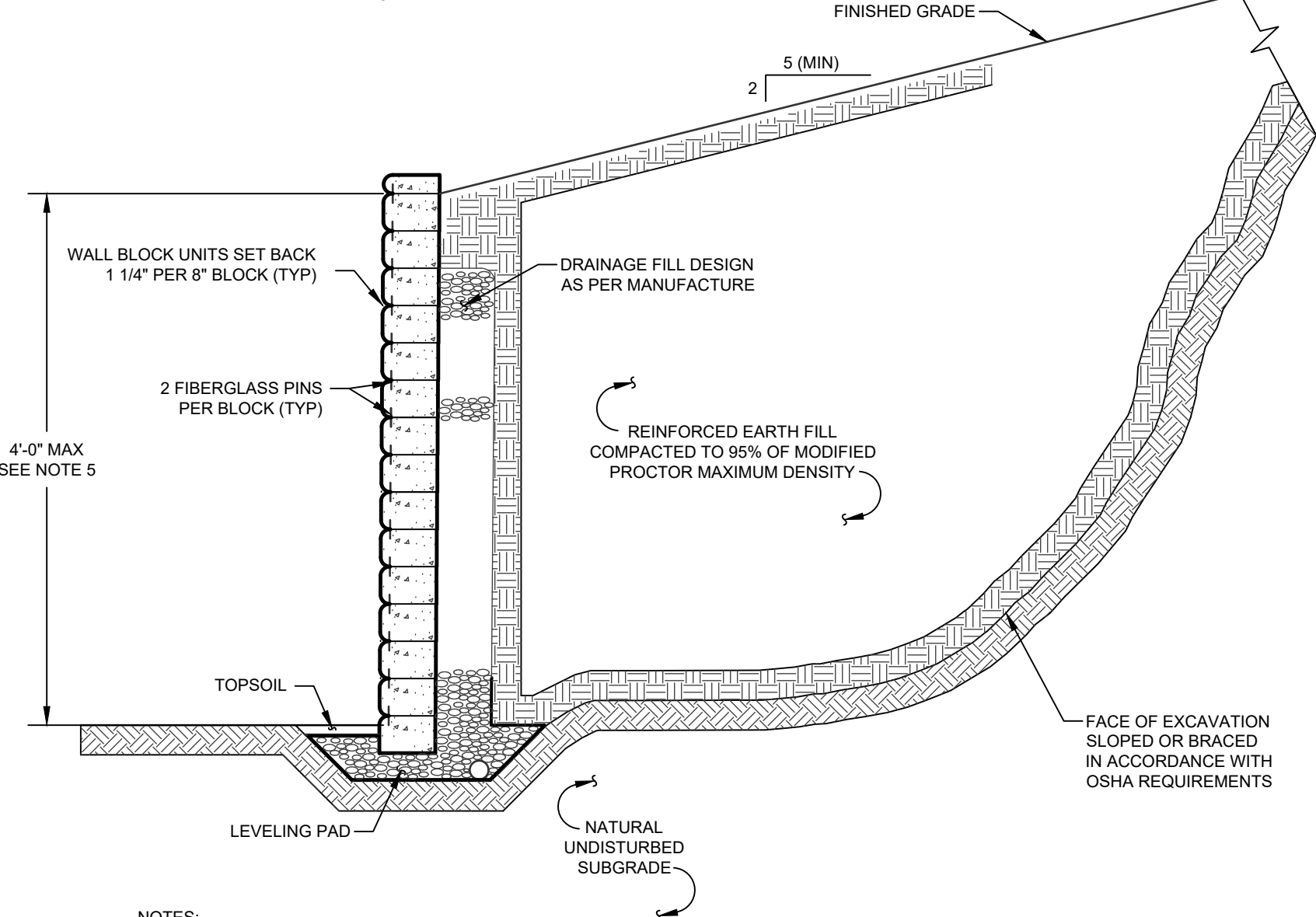


SILT FENCE
SCALE: NTS

- NOTES:**
- SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.



FES OUTLET PROTECTION
SCALE: NTS



- NOTES:**
- PROPOSED KEYSTONE KS HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
 - FENCING SHALL BE INSTALLED FOR AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - COLORS TO MATCH FOUNDATION STONE.
 - FOR WALLS OVER HEIGHTS OF 4'-0" SEE SPECIFIC ENGINEERED WALL DETAILS AS PREPARED BY OTHERS.
 - PRIOR TO CONSTRUCTION, DESIGN OF RETAINING WALLS SHALL BE PREPARED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER AND BE SUBMITTED TO THE VILLAGE OF MONTGOMERY BUILDING INSPECTOR / ENGINEER FOR REVIEW AND APPROVAL.

TYPICAL MSE RETAINING WALL
SCALE: NTS

EROSION AND SEDIMENTATION CONTROL NOTES

- SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
- ORANGE CONSTRUCTION FENCE LOCATIONS SHALL BE STAKED BY A SURVEYOR AND INSTALLATION SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO ANY LAND DISTURBANCE WITHIN 125 FEET OF AN EXISTING WETLAND OR AREAS WHERE TREES AND STONE WALLS ARE TO BE PRESERVED. ALL ORANGE CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT SENSITIVE AREAS. THE ORANGE CONSTRUCTION FENCING WILL BE REMOVED UPON FINAL STABILIZATION OF ALL AREAS WITHIN 125 FEET OF FENCING.
- TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND/OR STRAW BALE DIKES, DRAINAGE STRUCTURES, AND RIP-RAP PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SEED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
 - AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
 - LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
 - FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
 - DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. PREGRASS (ANNUAL OR PERENNIAL) PER ACRE DURING THE WINTER, USE 100 LBS. CERTIFIED BROODSTOCK WINTER RYE (CEREALE RYE) PER ACRE.
 - PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE: 8 LBS. EMPIRE BIRDFOOT TREFOIL OR COMMON WHITE CLOVER PER ACRE PLUS 20 LBS. TALL FESCUE PER ACRE PLUS 2 LBS. REDTOP OR 3 LBS. RYEGRASS (PERENNIAL) PER ACRE.
 - ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
- ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
- TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
- ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
- SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
- MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

MATERIAL	Lbs./Acre
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25
- OPTIMUM SEEDING PERIODS ARE 9:15-6:1 AND 8:1-10:15.

EARTHWORK CONSTRUCTION NOTES

- ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE VILLAGE OF MONTGOMERY.
- ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
- ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CELLAR, ROOF AND FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
- COMPLETION OF GRADING AND BASIN, BERMS AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
- ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 3H:1V SLOPE SIDES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES".
- ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
- SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
 - ROCK-PICK UNTIL UNLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 8 INCHES.
 - VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

SEQUENCE OF CONSTRUCTION ACTIVITY

- PRE-CONSTRUCTION MEETING ONE WEEK BEFORE CONSTRUCTION, SITE DISTURBANCE OR EQUIPMENT STAGING ACTIVITIES AN EVALUATION OF THE SITE WILL BE PERFORMED WITH VILLAGE PERSONNEL, VILLAGE ENGINEER, SITE DESIGN ENGINEER, CONTRACTOR TO DISCUSS GENERAL CONSTRUCTION PROCEDURES AND SEQUENCING. DURING THIS MEETING SENSITIVE AREAS OF THE PROPERTY SHALL BE DELINEATED AND MARKED OUT WITH ORANGE CONSTRUCTION FENCE (I.E. TREES, WETLANDS, WELLS).
- CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWN HILL OF PROPOSED CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND STABILIZE CONSTRUCTION ROADS. INSTALL TEMPORARY SEDIMENT TRAP. INSTALL PERMANENT/TEMPORARY GRASSSED SWALES.
- CLEARING AND GRUBBING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
- ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABILIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABILIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
- ROADBUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF ROADWAYS, BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. INSTALL DRAINAGE INLET AND OUTLET PROTECTION AS EACH INLET/OUTLET IS CONSTRUCTED. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
- FINAL GRADING AND LANDSCAPING: REMOVE TEMPORARY SEDIMENT TRAPS AND INSTALL PERMANENT WATER QUALITY QUANTITY FACILITIES. COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
- POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.



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Ph: (845) 457-7727
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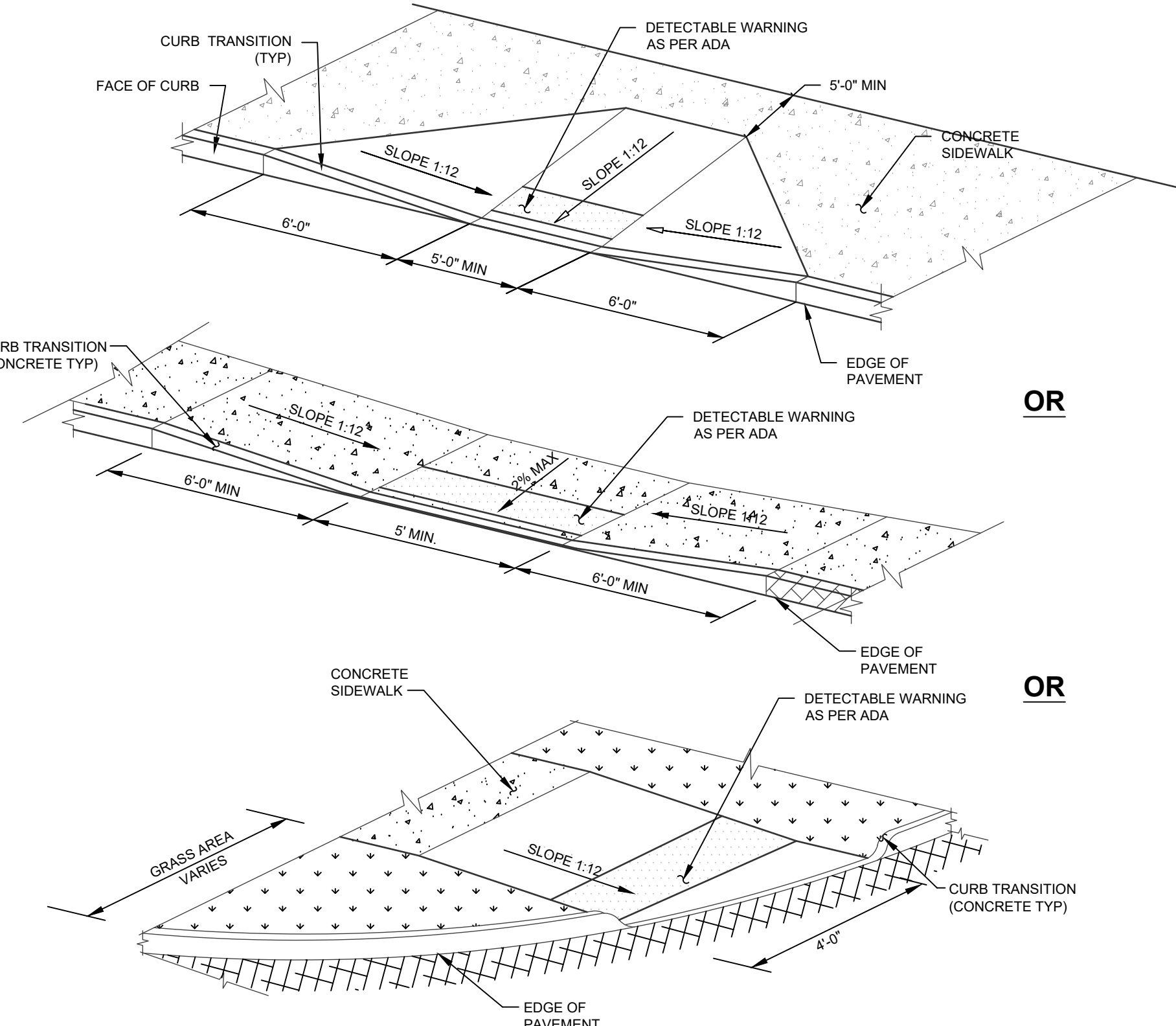
DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

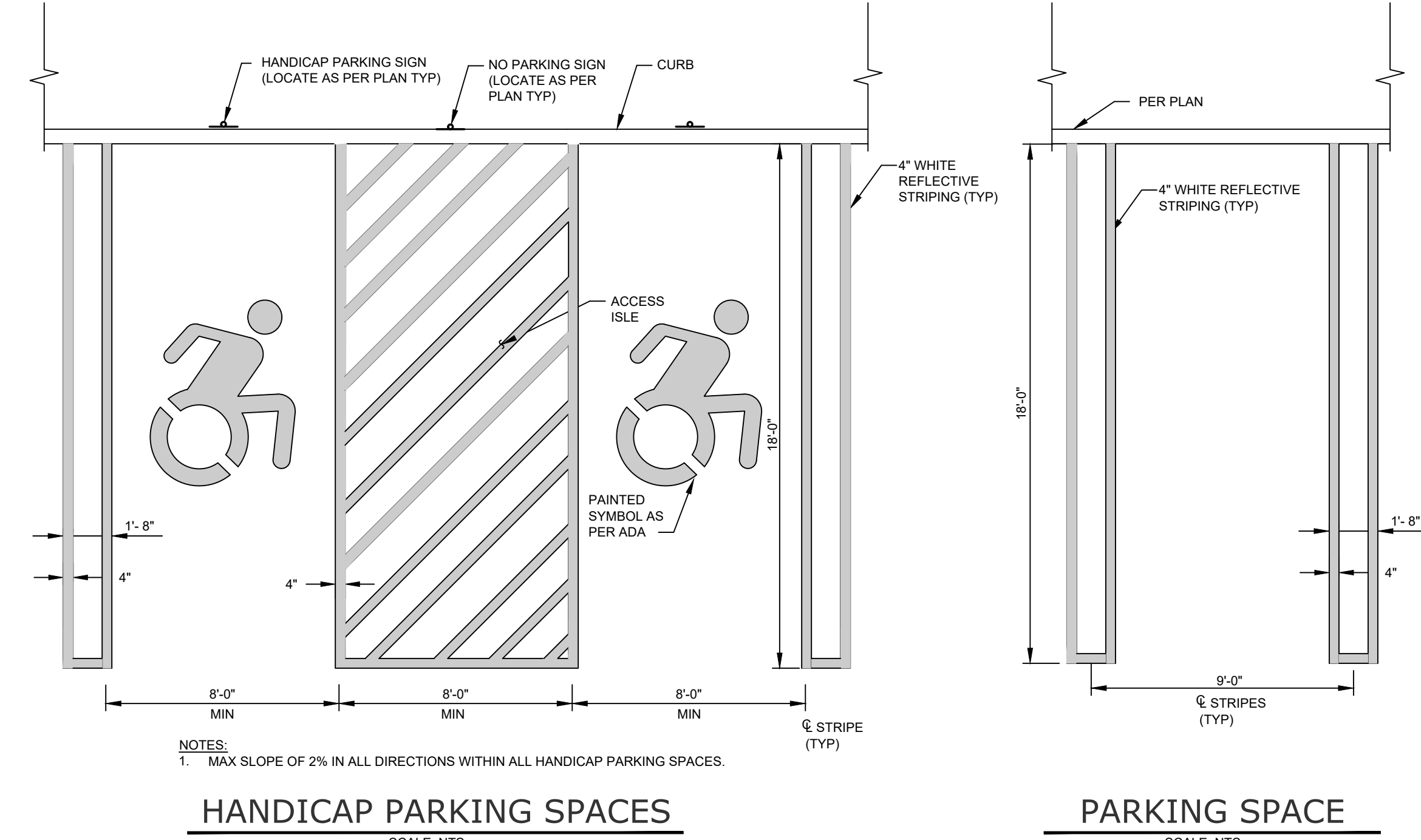
JOB #: 1281.01
DATE: 12/09/2021
REVISION: 10 - 12/03/2024

DRAWN BY: ZS
SCALE: AS NOTED
TAX LOT: 211-1-29-22

C-303

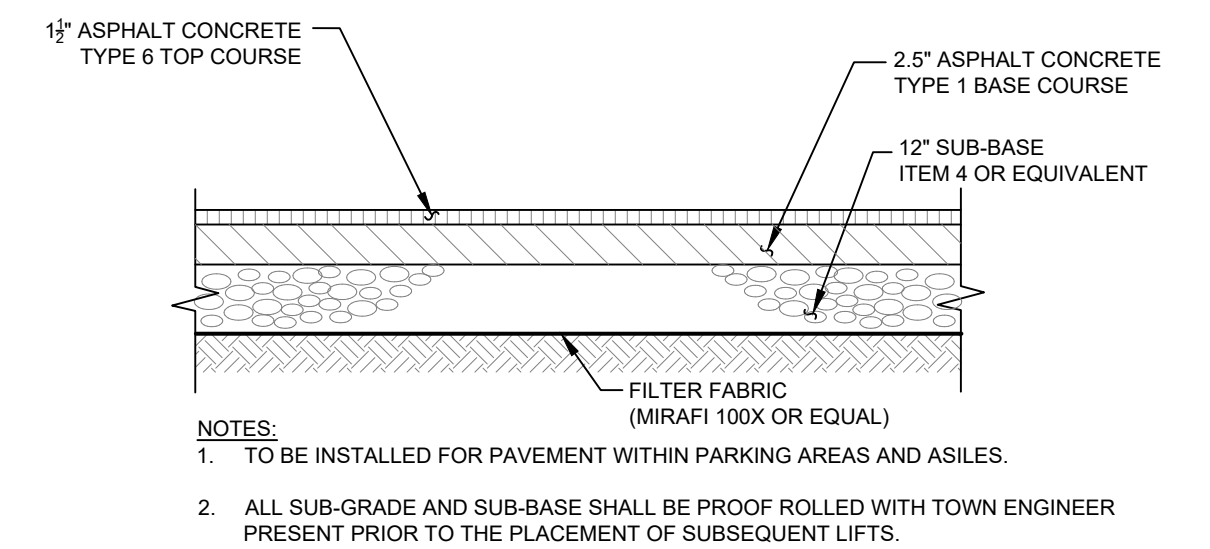


HANDICAMP RAMP
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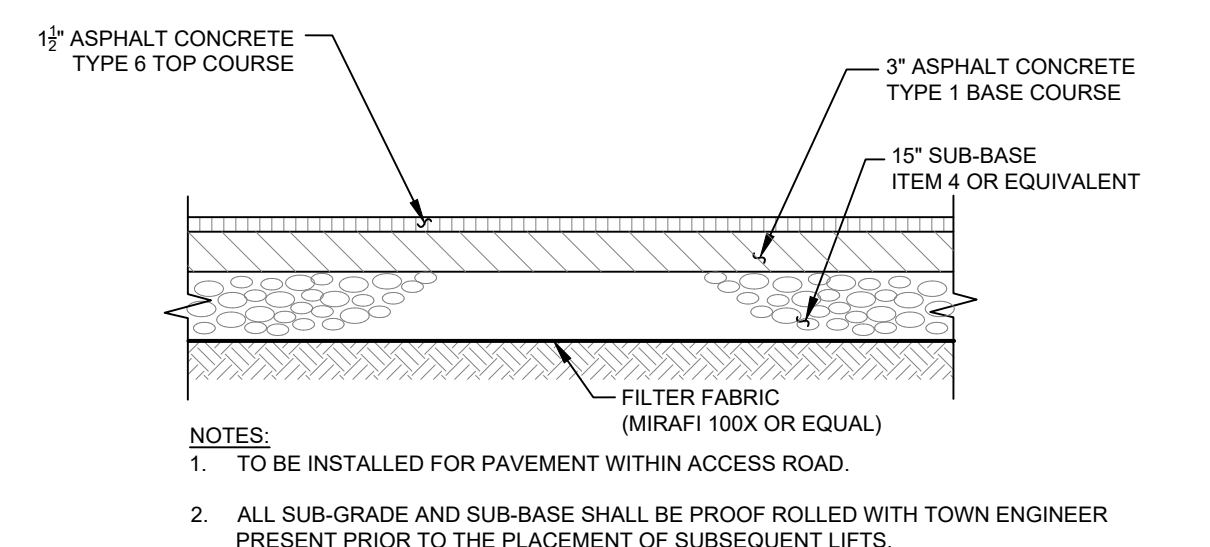


HANDICAP PARKING SPACES
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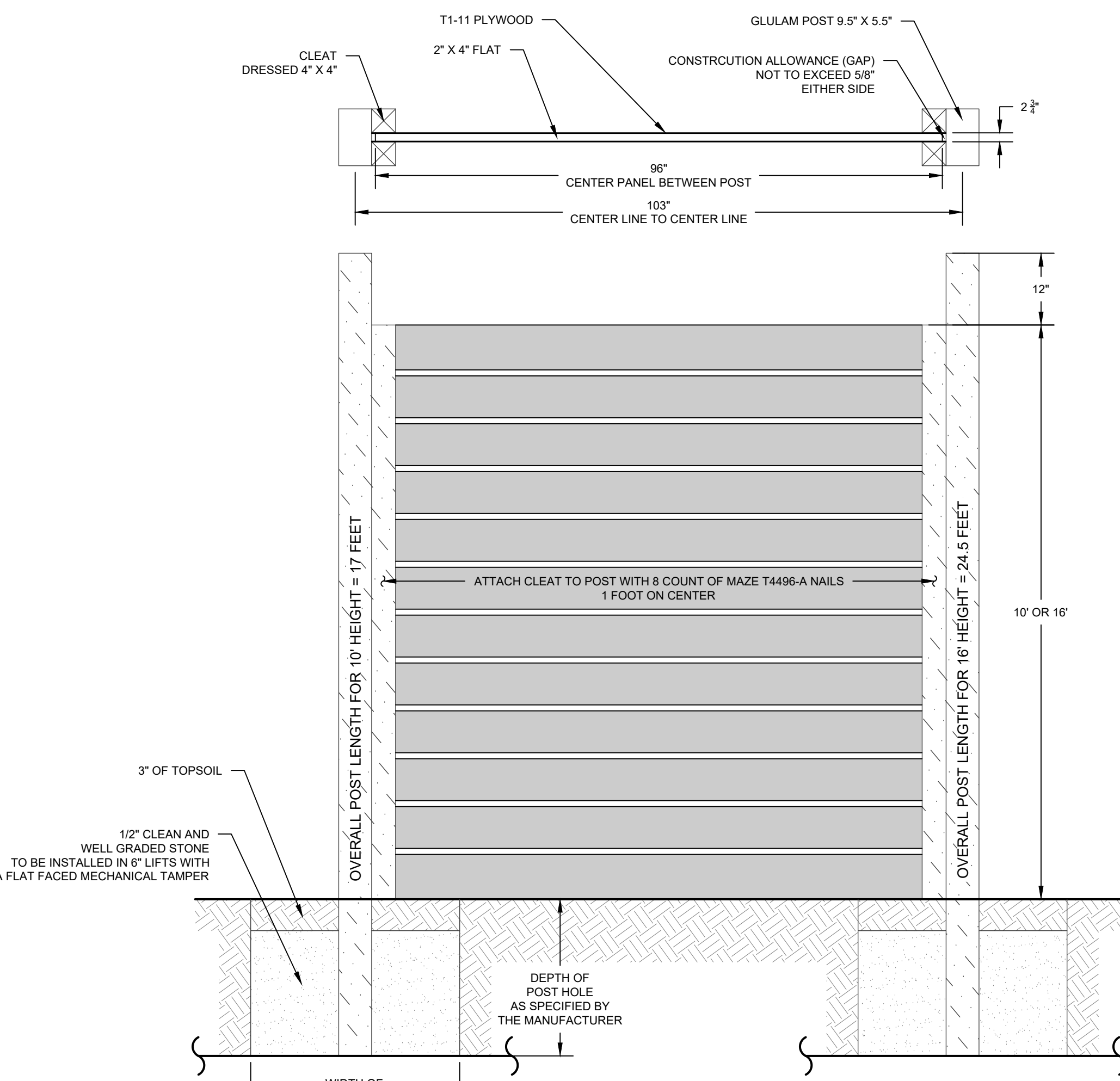
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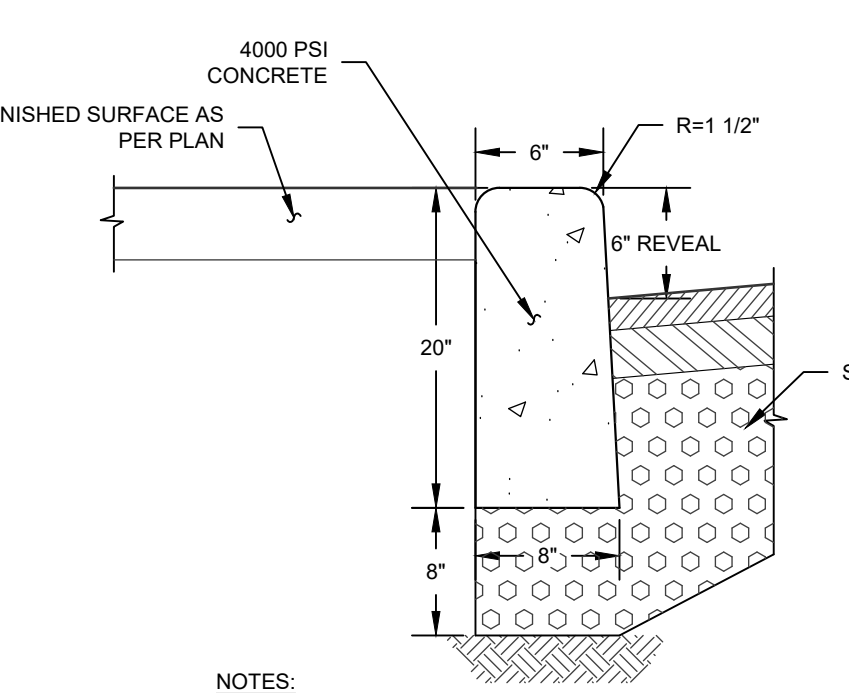
PARKING PAVEMENT SECTION
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ROADWAY PAVEMENT SECTION
SCALE: N.T.S.



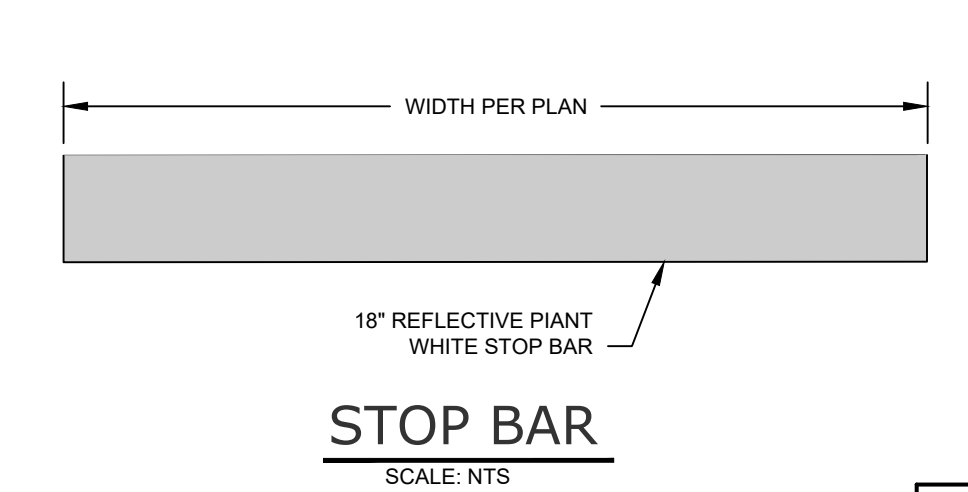
PLYWALL® SOUND BARRIER
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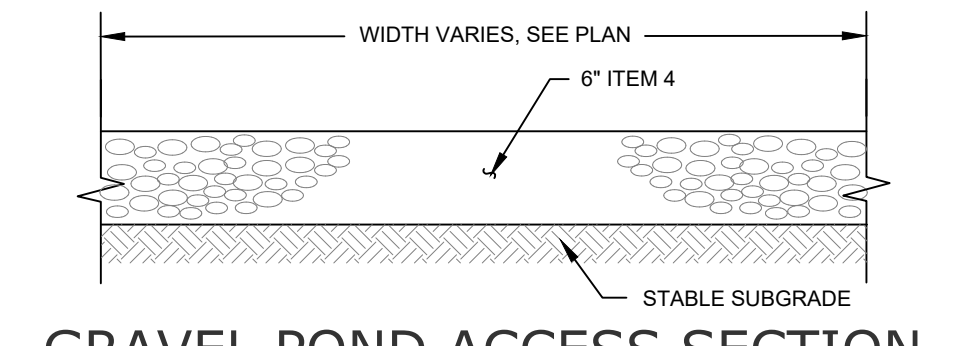
CONCRETE CURB
SCALE: N.T.S.

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
NP		P1-1C	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
STOP		R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC		M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING
NTT		R14-3RA9	18" x 24"	GR MTD	WHITE BACKGROUND BLACK LETTERING
NLT		K2-0783	30" x 30"	GR MTD	WHITE BACKGROUND RED & BLACK SYMBOL BLACK LETTERING
		K3-0782-L	18" x 24"	GR MTD	WHITE BACKGROUND BLACK SYMBOL BLACK LETTERING
FL		R8-31	18" x 24"	GR MTD	WHITE BACKGROUND RED LETTERING

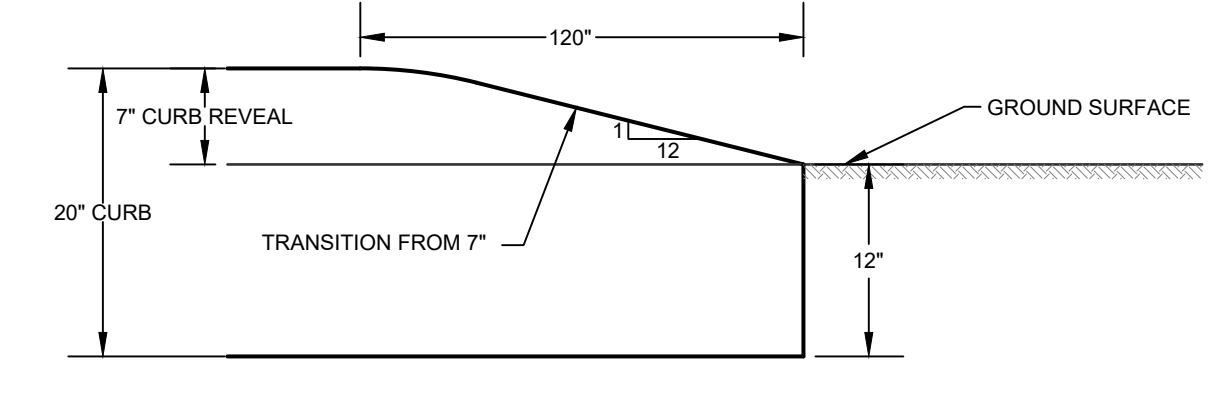
SIGN SCHEDULE
SCALE: N.T.S.



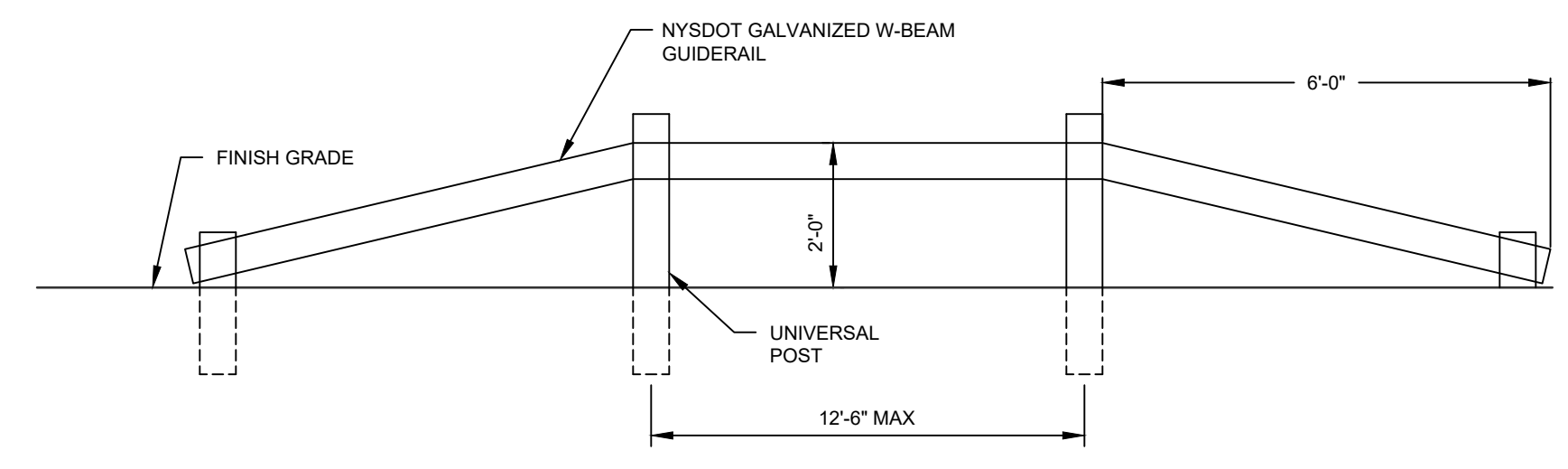
STOP BAR
SCALE: N.T.S.



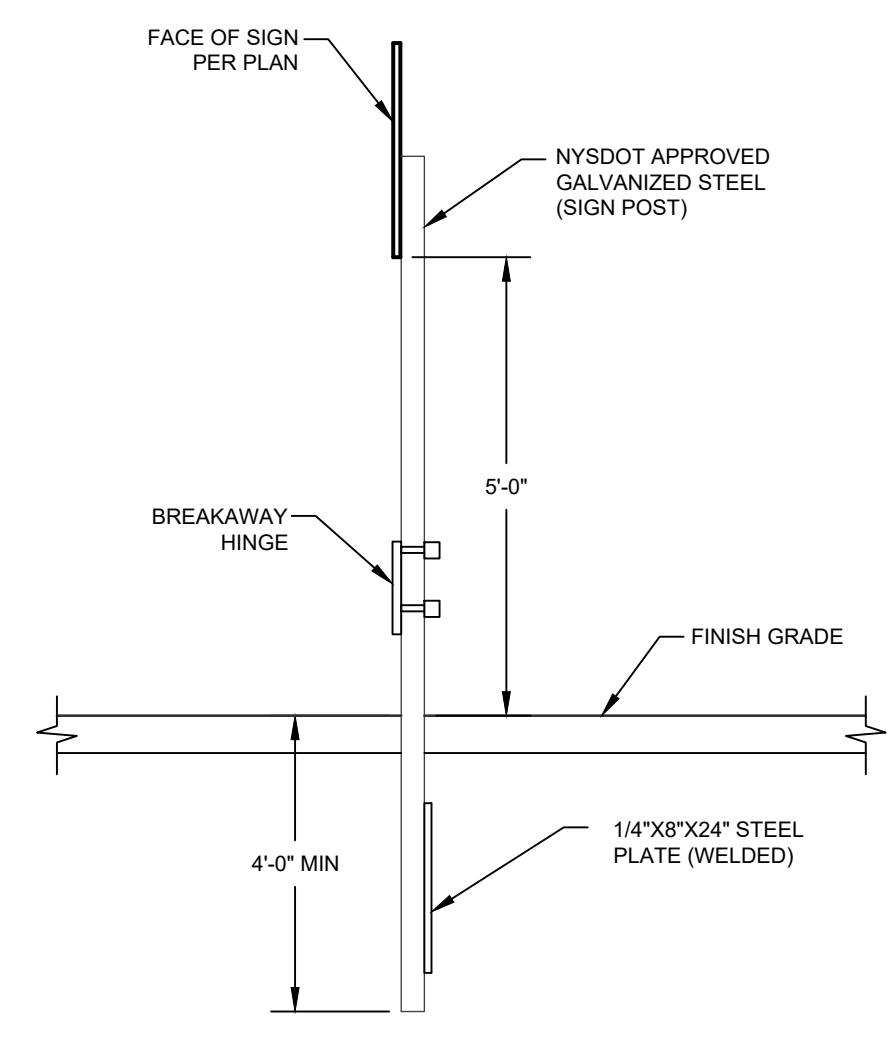
GRAVEL POND ACCESS SECTION
SCALE: N.T.S.



CONCRETE CURB TERMINATION
SCALE: N.T.S.



NYS DOT W-BEAM GUIDE RAIL
SCALE: N.T.S.



SIGN POST
SCALE: N.T.S.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/14/23	REVISED PER PB & PUBLIC COMMENTS
8	05/12/23	REVISED PER PB & PUBLIC COMMENTS
9	06/16/23	REVISED PER PB & PUBLIC COMMENTS
10	12/03/24	REVISED FOR PLANNING BOARD SUBMISSION

DRAWING STATUS	ISSUE DATE
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	12/03/2024
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	16 OF 16
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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