

LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT BOUNDARY
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE
	CURB LINE		EXISTING BUILDING LINE
	MUNICIPAL BOUNDARY		EXISTING CURB LINE
	GRAVEL DRIVEWAY LINE		EXISTING EDGE OF PAVEMENT LINE
	EASEMENT LINE		LIMIT OF ACOE WETLAND
	BUILDING SETBACK LINES		EXISTING CHAINLINK FENCE LINES
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES
	PARKING STALL STRIPE		
	PARKING PAVEMENT SECTION		
	EDGE OF SIDEWALK LINES		
	LIMIT OF WETLAND MITIGATION LINE		
	PROPERTY LINE		
	STRIPING LINE		

BULK REQUIREMENTS

VILLAGE OF MONTGOMERY - ZONING DISTRICT I-1 & I-2
PROPOSED USE: WAREHOUSE / OFFICE

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	40,000 SQ. FT.	± 1,475,484 SQ. FT.
LOT WIDTH	150 FEET	889.1 FEET
FRONT YARD ABUTTING RESIDENTIAL *	120 FEET	329.2 FEET
REAR YARD	50 FEET	59.1 FEET
SIDE YARD (ONE / BOTH)	30 / 60 FEET	86.0 / 419.5 FEET
SIDE YARD ABUTTING RESIDENTIAL *	100 FEET	333.5 FEET
MAXIMUM ALLOWABLE		
BUILDING HEIGHT	35 FT	45 FT **
LOT COVERAGE (BUILDINGS)	30 %	19.0 %
NOTES		
* BUILDING SETBACKS FROM RESIDENTIALLY ZONED PROPERTIES IS INCREASED BY 70'		
** VARIANCE REQUIRED FOR MAXIMUM BUILDING HEIGHT		

PARKING CALCULATIONS

CAR PARKING SPACE REQUIREMENTS:
REQUIRED: WAREHOUSE: 1 SPACE PER 2,000 SQ. FT. OF FLOOR AREA
OFFICE: 1 SPACE PER 200 SQ. FT. OF FLOOR AREA

PARKING CALCULATIONS FOR WAREHOUSE USE
TOTAL WAREHOUSE FLOOR AREA: 268,000 SQ. FT.
268,000 SQ. FT. X (1/2000) = 134 SPACES

PARKING CALCULATIONS FOR OFFICE USE
TOTAL OFFICE FLOOR AREA: 12,000 SQ. FT.
12,000 SQ. FT. X (1/200) = 60 SPACES

COMBINED PARKING REQUIREMENTS
TOTAL SPACES REQUIRED FOR SITE: 134 + 60 = 194 SPACES
TOTAL SPACES PROVIDED: 266 SPACES

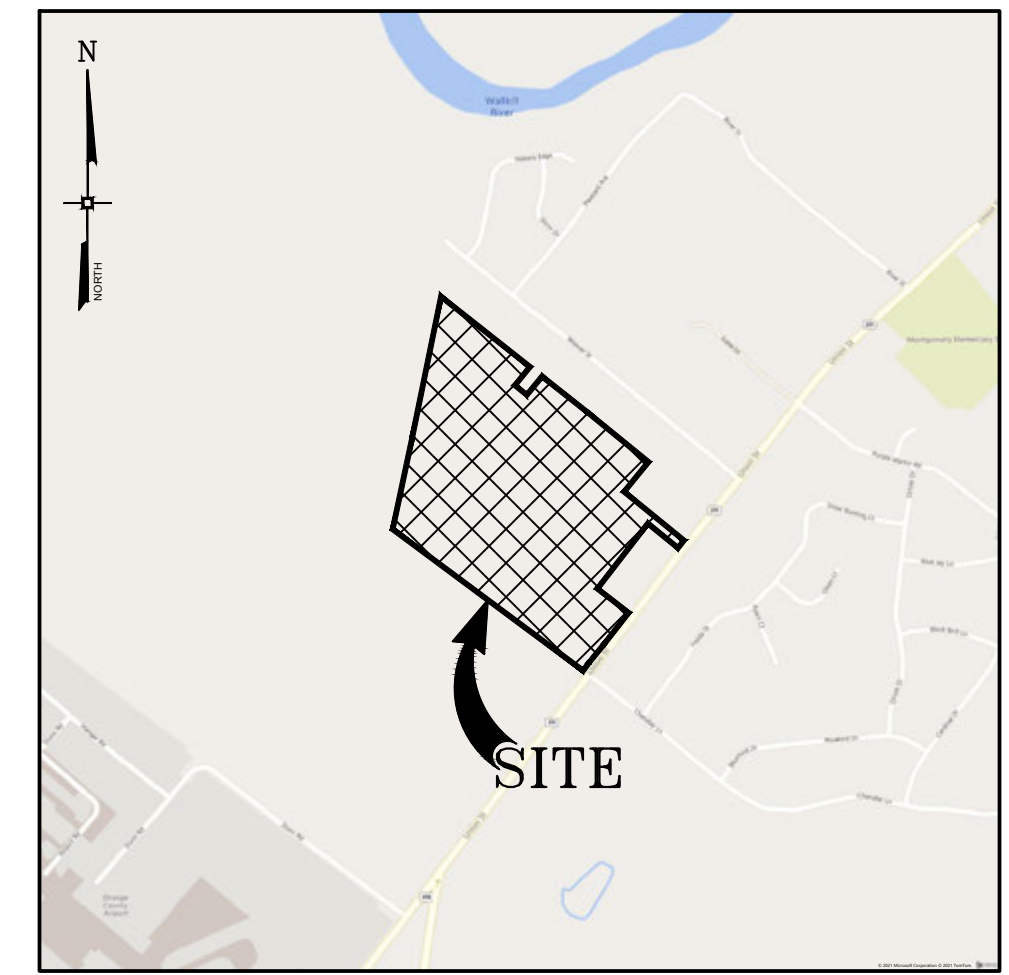
TRUCK LOADING SPACE REQUIREMENTS:
REQUIRED: 2 SPACES FOR THE FIRST 40,000 SQ. FT. AND 1 ADDITIONAL SPACE PER EACH ADDITIONAL 40,000 SQ. FT. OF FLOOR AREA

BUILDING 1: 60,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + ((60,000 - 40,000) SQ. FT. X (1/20000)) = 2.5 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 6

BUILDING 2: 60,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + ((60,000 - 40,000) SQ. FT. X (1/20000)) = 2.5 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 6

BUILDING 3: 80,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + ((80,000 - 40,000) SQ. FT. X (1/20000)) = 3 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 6

BUILDING 4: 80,000 SQ. FT.
(40,000 SQ. FT. X (1/40000)) + ((80,000 - 40,000) SQ. FT. X (1/20000)) = 3 SPACES
TRUCK SPACES REQUIRED: 3
TRUCK SPACES PROVIDED: 6



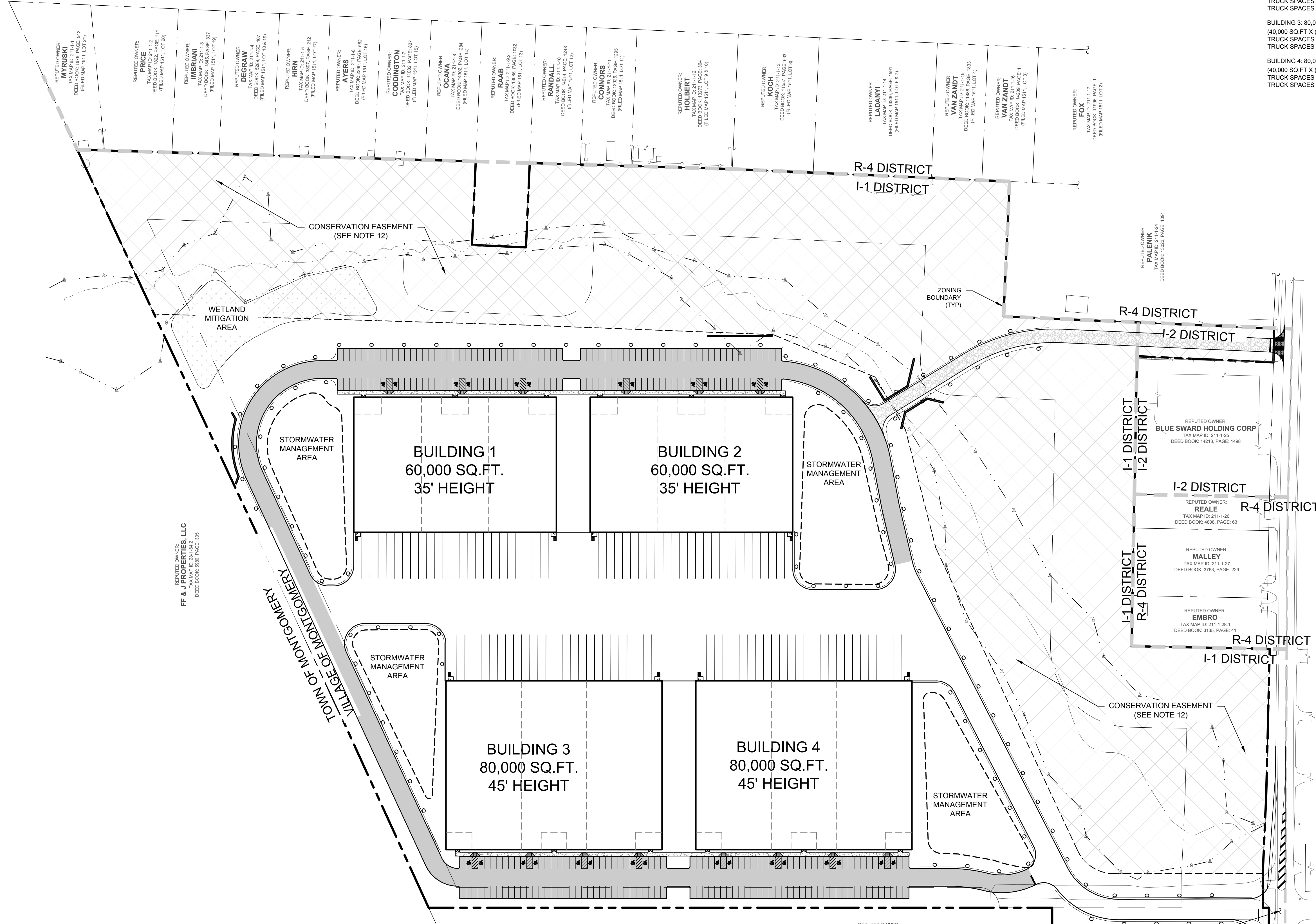
LOCATION MAP
SCALE: 1" = 1000'

LIST OF DRAWINGS

DRAWING #	TITLE	SHEET #
C-100	OVERALL PLAN	1
C-101	SITE PLAN	2
C-102	SITE PLAN	3
C-103	GRADING, DRAINAGE & UTILITY PLAN	4
C-104	GRADING, DRAINAGE & UTILITY PLAN	5
C-105	PHASING PLAN	6
C-106	EROSION & SEDIMENT CONTROL PLAN	7
C-107	EROSION & SEDIMENT CONTROL PLAN	8
C-108	LIGHTING PLAN	9
C-109	LIGHTING PLAN	10
C-110	LANDSCAPE PLAN AND DETAILS	11
C-111	LANDSCAPE PLAN AND DETAILS	12
C-301	DETAILS	13
C-302	DETAILS	14
C-303	DETAILS	15

GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 211, BLOCK 1, LOT 29.22
- TOTAL AREA OF SUBJECT PARCEL: ± 33.87 ACRES.
- BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON A SURVEY DATED OCTOBER 10, 2018 AS PREPARED BY ENGINEERING & SURVEYING PROPERTIES, P.C.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES, P.C. FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEM) AS DERIVED FROM 2012 SOURCE DATA. THE DEMS WERE PROVIDED BY NYS GIS CENTER AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER/APPLICANT: ROUTE 211 OWNER, LLC
266 BROADWAY, SUITE 403
BROOKLYN, NEW YORK 11211
- WETLAND FLAGS AND BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD EVALUATION PERFORMED BY PETER TORGENSEN ON OCTOBER 15, 2018, AND GPS LOCATED BY ENGINEERING AND SURVEYING PROPERTIES, P.C. ON OCTOBER 18, 2018.
- WETLAND DISTURBANCE AREA SHOWN WERE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION AND PROJECT PLAN" BY ENVIRONMENTAL COMPLIANCE SERVICES INC. DATED SEPTEMBER 9, 2005.
- EXISTING ACOE WETLAND DISTURBANCE: ± 0.086 ACRES
PROPOSED ACOE WETLAND DISTURBANCE: ± 0.120 ACRES
TEMPORARY ACOE WETLAND DISTURBANCE: ± 0.022 ACRES
TOTAL ACOE WETLAND DISTURBANCE: ± 0.238 ACRES
- THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS THEREFORE CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- THE OWNER WILL NOTIFY THE NEIGHBOR OF THE ENCROACHMENTS ON THE PROPERTY. NO ACTION WILL BE TAKEN UNLESS WRITTEN NOTICE IS PROVIDED BY THE OWNER.
- FOR ALL WORK WITHIN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SEE PLANS BY CREIGHTON MANNING ENGINEERING LLC.
- CONSERVATION EASEMENT TO BE GRANTED TO THE VILLAGE OF MONTGOMERY.
- PRIOR TO CONSTRUCTION THE WETLAND BOUNDARIES IN THE VICINITY OF ANY PROPOSED WORK SHALL BE CLEARLY MARKED IN THE FIELD WITH ORANGE CONSTRUCTION FENCING TO AVOID UNNECESSARY DISTURBANCES.
- NO OPEN STORAGE IS ALLOWED. ALL ITEMS AND MATERIALS SHALL BE STORED COMPLETELY WITHIN THE CONFORES OF THE WAREHOUSE BUILDINGS.
- STORAGE OF TOXIC, EXPLOSIVE, FLAMMABLE OR OTHERWISE DANGEROUS AND NOXIOUS MATERIALS THAT ARE INCOMPATIBLE WITH THE PUBLIC HEALTH AND SAFETY OR THAT MAY POSE A RISK TO GROUNDWATER OR OTHER CONTAMINATION SHALL BE PROHIBITED.
- TOTAL DISTURBANCE AREA: ± 21.23 ACRES



No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	1 OF 15
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 60 ft.

ENGINEERING & SURVEYING PROPERTIES
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MONTGOMERY, NY 12549
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OVERALL PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

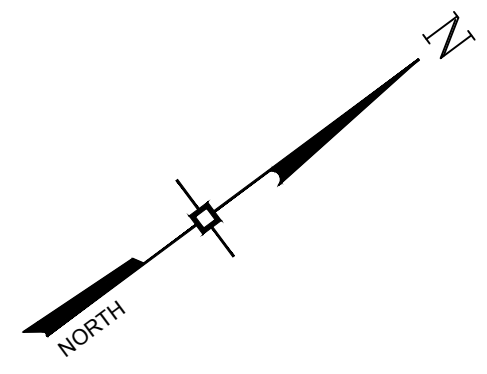
JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 60'
REVISION:	6 - 03/10/2023	TAX LOT:	211-1-29.22

O-100

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LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
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	LIMIT OF WETLAND MITIGATION LINE				
	PROPERTY LINE				
	STRIPING LINE				



REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
CODDINGTON
TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
(FILED MAP 1511, LOT 15)

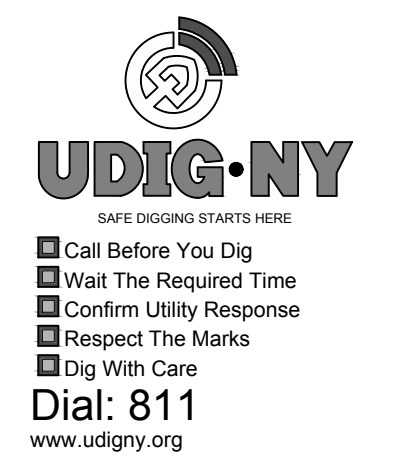
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OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
DEED BOOK: 13085, PAGE: 1032
(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)



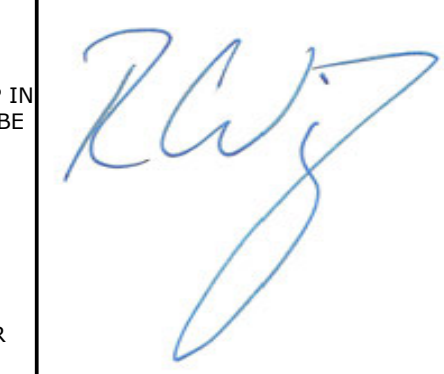
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 - Wait The Required Time
 - Confirm Utility Response
 - Respect The Marks
 - Dig With Care
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DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	03/10/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2 OF 15
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
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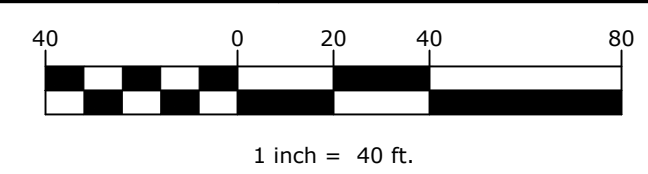
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NEW YORK LICENSE # 071701



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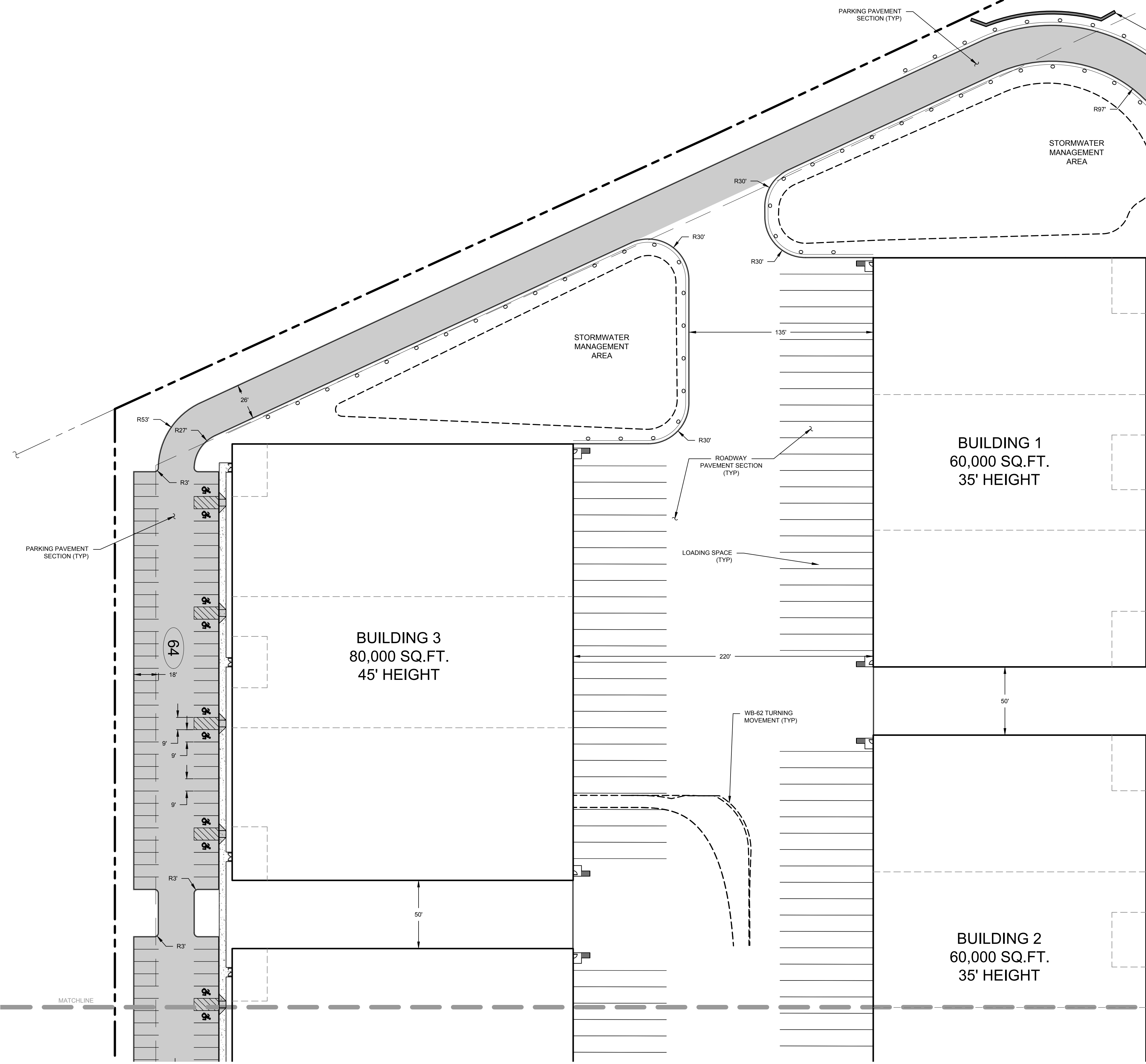
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71 CLINTON STREET
MONTGOMERY, NY 12549
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SITE PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	6 - 03/10/2023	TAX LOT:	211-1-29.22

C-101



60,000 SQ.F.T.
35' HEIGHT

BUILDING 4
80,000 SQ.FT.
45' HEIGHT

DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11557, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 13230, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

REPUTED OWNER:
PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:
EMBRIO
TAX MAP ID: 211-1-28.1
DEED BOOK: 3135, PAGE: 41

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 228

REPUTED OWNER:
REALE
TAX MAP ID: 211-1-26
DEED BOOK: 4908, PAGE: 63

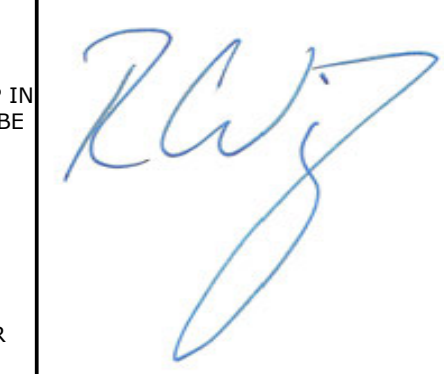
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BLUE SWARD HOLDING CORP
TAX MAP ID: 211-1-25
DEED BOOK: 14213, PAGE: 1488

No.	DATE	DESCRIPTION
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	3 OF 15
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

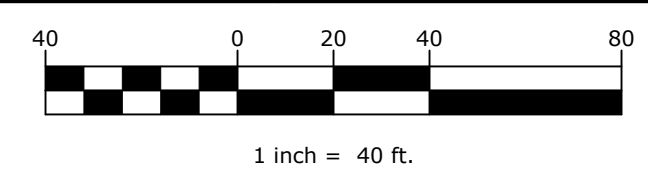
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NEW YORK LICENSE # 071701



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	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
	CURB LINE		EXISTING BUILDING LINE		
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE		
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SITE PLAN

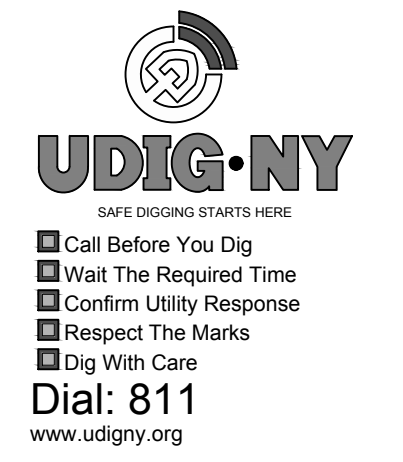
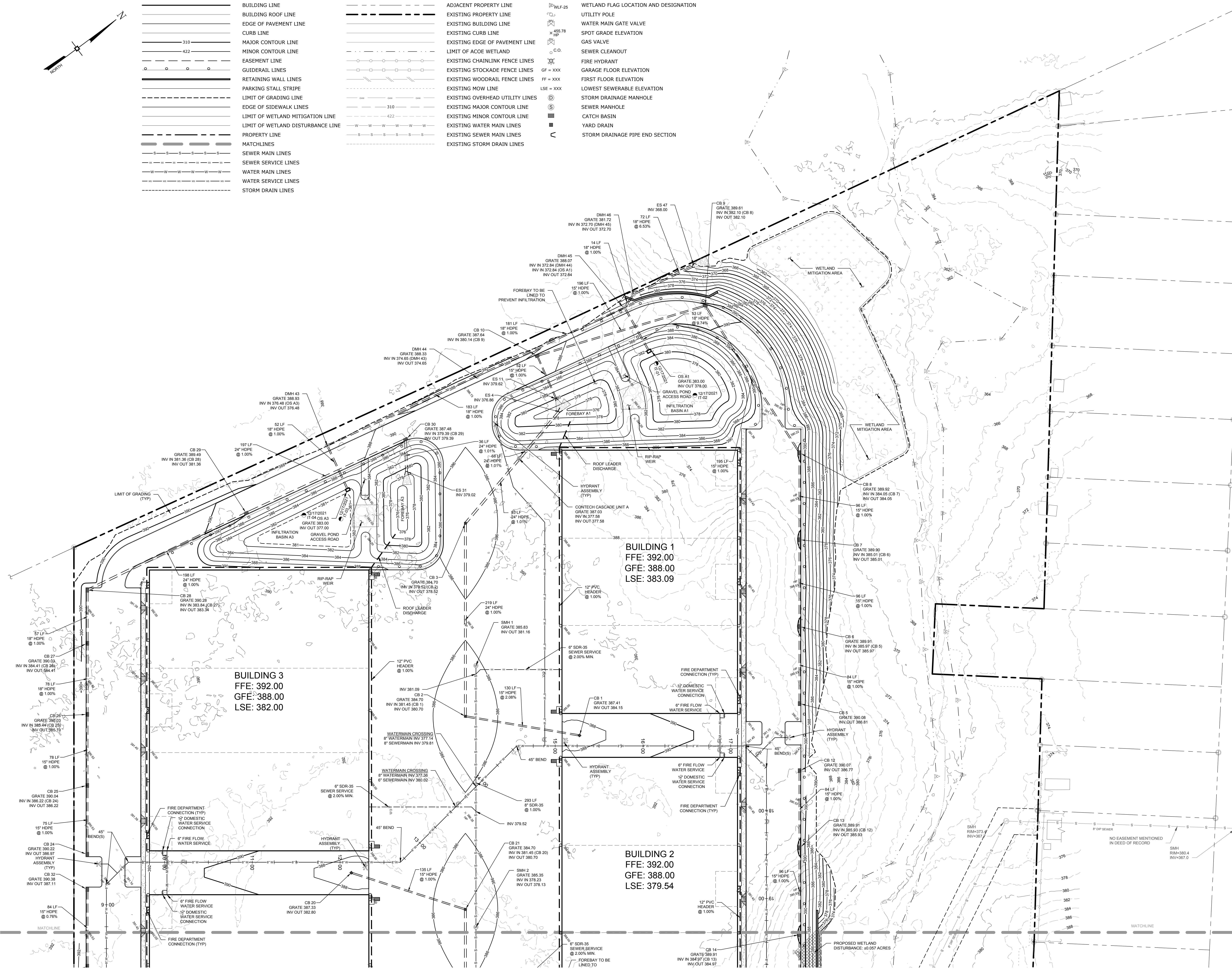
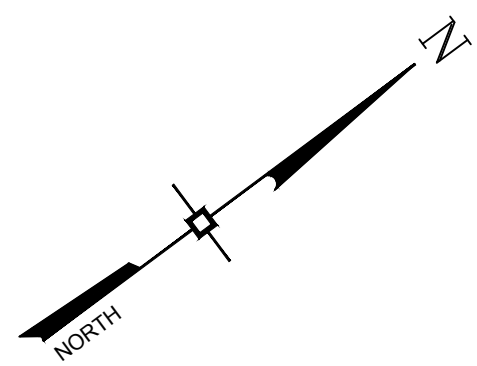
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	6 - 03/10/2023	TAX LOT:	211-1-29.22

C-102

LEGEND

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	PROPERTY LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	MATCHLINES		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	SEWER MAIN LINES		EXISTING STORM DRAIN LINES		
	SEWER SERVICE LINES				
	WATER MAIN LINES				
	WATER SERVICE LINES				
	STORM DRAIN LINES				



NOTES:
1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

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4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		03/10/2023
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	4 OF 15
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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NEW YORK LICENSE # 071701

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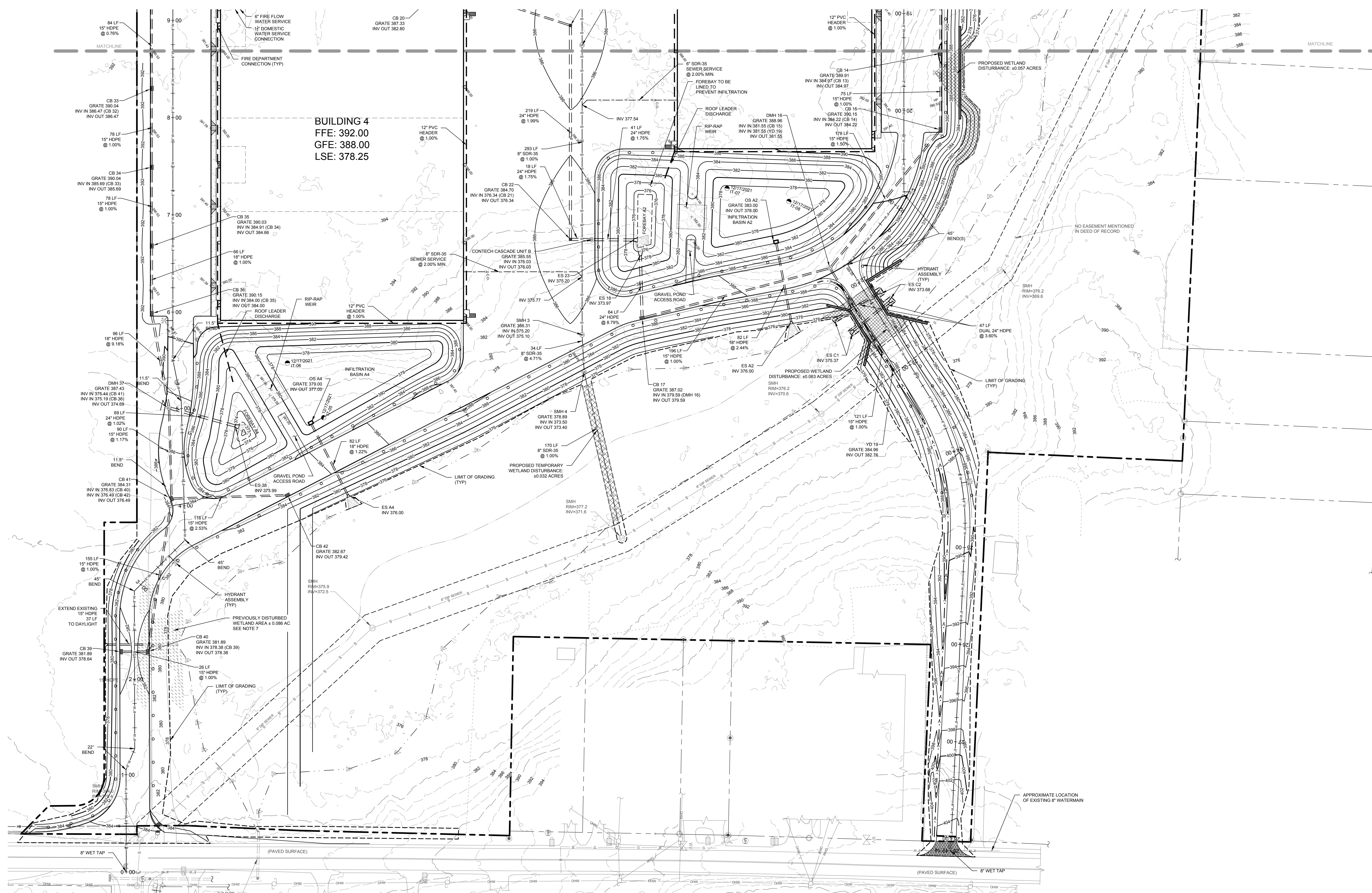
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MONTGOMERY, NY 12549
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GRADING, DRAINAGE & UTILITY PLAN

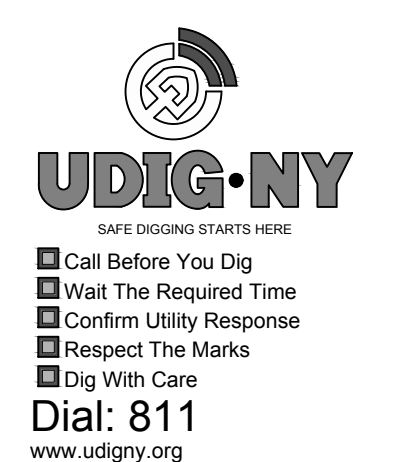
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 6 - 03/10/2023 TAX LOT: 211-1-29-22

C-103



BUILDING 4
 FFE: 392.00
 GFE: 388.00
 LSE: 378.25



NOTES:
 1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	5 OF 15	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER	N/A OF N/A	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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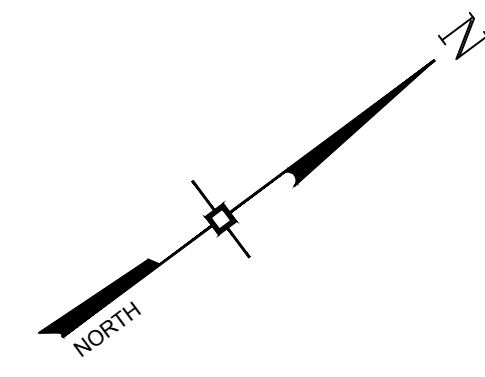
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 NEW YORK LICENSE # 071701

LEGEND

- | | | | | | |
|--|-----------------------------------|--|---------------------------------|--|---------------------------------------|
| | BUILDING LINE | | ADJACENT PROPERTY LINE | | WETLAND FLAG LOCATION AND DESIGNATION |
| | BUILDING ROOF LINE | | EXISTING PROPERTY LINE | | UTILITY POLE |
| | EDGE OF PAVEMENT LINE | | EXISTING BUILDING LINE | | WATER MAIN GATE VALVE |
| | CURB LINE | | EXISTING CURB LINE | | SPOT GRADE ELEVATION |
| | MAJOR CONTOUR LINE | | EXISTING EDGE OF PAVEMENT LINE | | GAS VALVE |
| | MINOR CONTOUR LINE | | LIMIT OF ACOE WETLAND | | SEWER CLEANOUT |
| | EASEMENT LINE | | EXISTING CHAINLINK FENCE LINES | | FIRE HYDRANT |
| | GUIDERAIL LINES | | EXISTING STOCKADE FENCE LINES | | GARAGE FLOOR ELEVATION |
| | RETAINING WALL LINES | | EXISTING WOODRAIL FENCE LINES | | FIRST FLOOR ELEVATION |
| | PARKING STALL STRIPE | | EXISTING MOW LINE | | LOWEST SEWERABLE ELEVATION |
| | LIMIT OF GRADING LINE | | EXISTING OVERHEAD UTILITY LINES | | STORM DRAINAGE MANHOLE |
| | EDGE OF SIDEWALK LINES | | EXISTING MAJOR CONTOUR LINE | | SEWER MANHOLE |
| | LIMIT OF WETLAND MITIGATION LINE | | EXISTING MINOR CONTOUR LINE | | CATCH BASIN |
| | LIMIT OF WETLAND DISTURBANCE LINE | | EXISTING WATER MAIN LINES | | YARD DRAIN |
| | PROPERTY LINE | | EXISTING SEWER MAIN LINES | | STORM DRAINAGE PIPE END SECTION |
| | MATCHLINES | | EXISTING STORM DRAIN LINES | | |
| | SEWER MAIN LINES | | WATER SERVICE LINES | | |
| | SEWER SERVICE LINES | | STORM DRAIN LINES | | |
| | WATER MAIN LINES | | | | |

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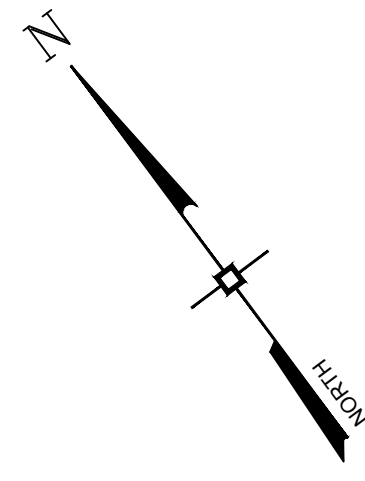
GRADING, DRAINAGE & UTILITY PLAN

KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 6 - 03/10/2023 TAX LOT: 211-1-29-22

C-104

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	PHASE 1
	PHASE 2
	PHASE 3
	PHASE 4

DISTURBANCE AREA PER PHASE

PHASE 1 = 302,121 SQFT = ± 7.23 AC
 PHASE 2 = 199,720 SQFT = ± 5.84 AC
 PHASE 3 = 213,867 SQFT = ± 4.91 AC
 PHASE 4 = 201,727 SQFT = ± 4.50 AC



No.	DATE	DESCRIPTION
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6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	03/10/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6 OF 15
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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 NEW YORK LICENSE # 071701

1 inch = 60 ft.

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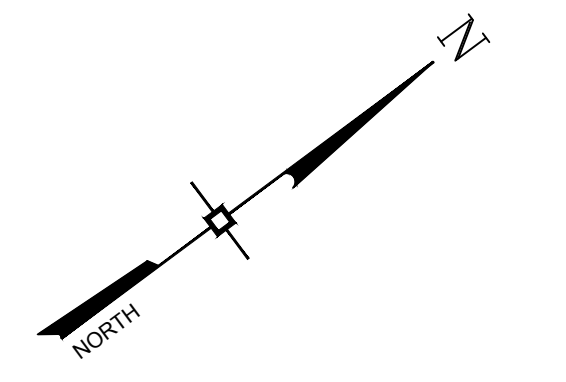
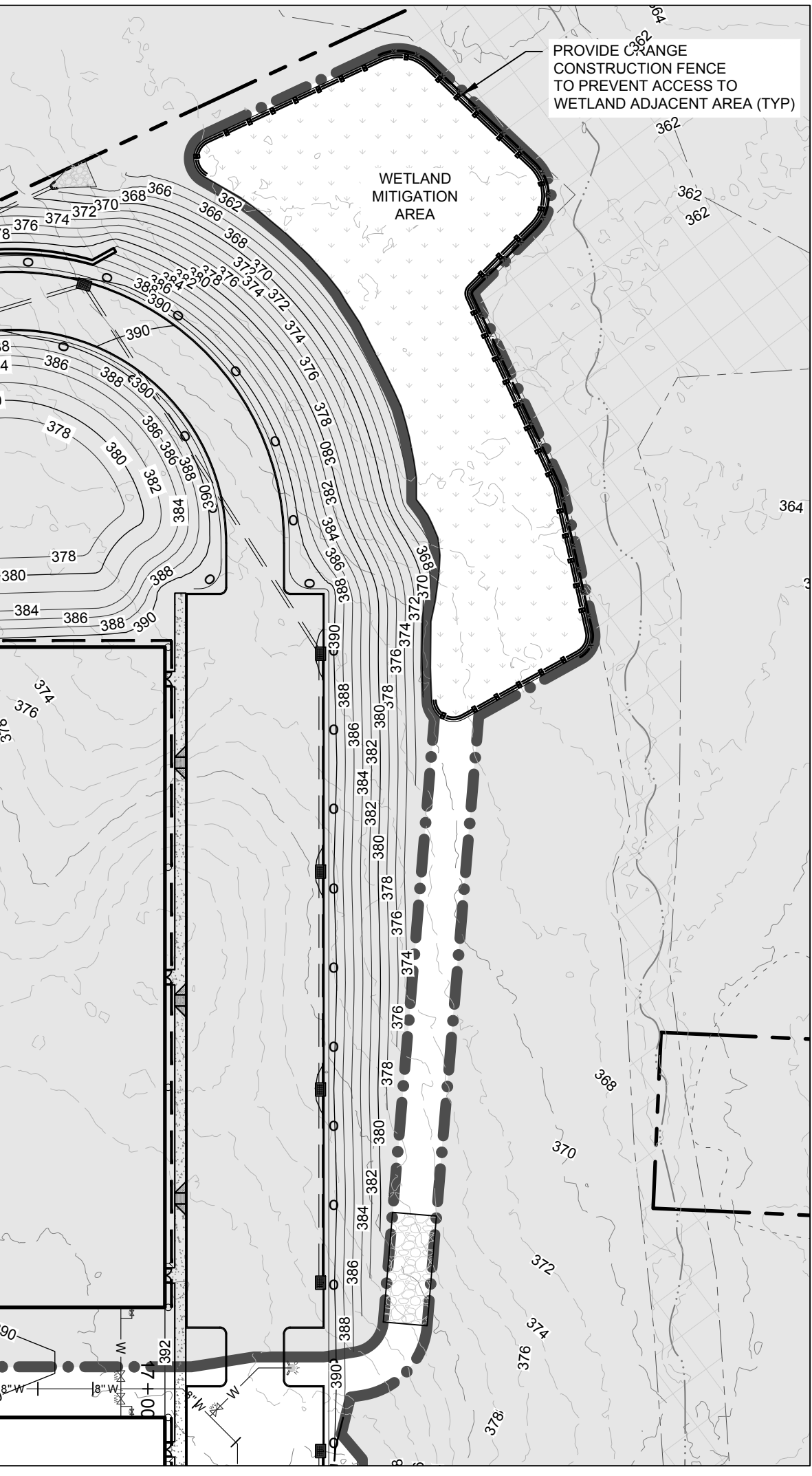
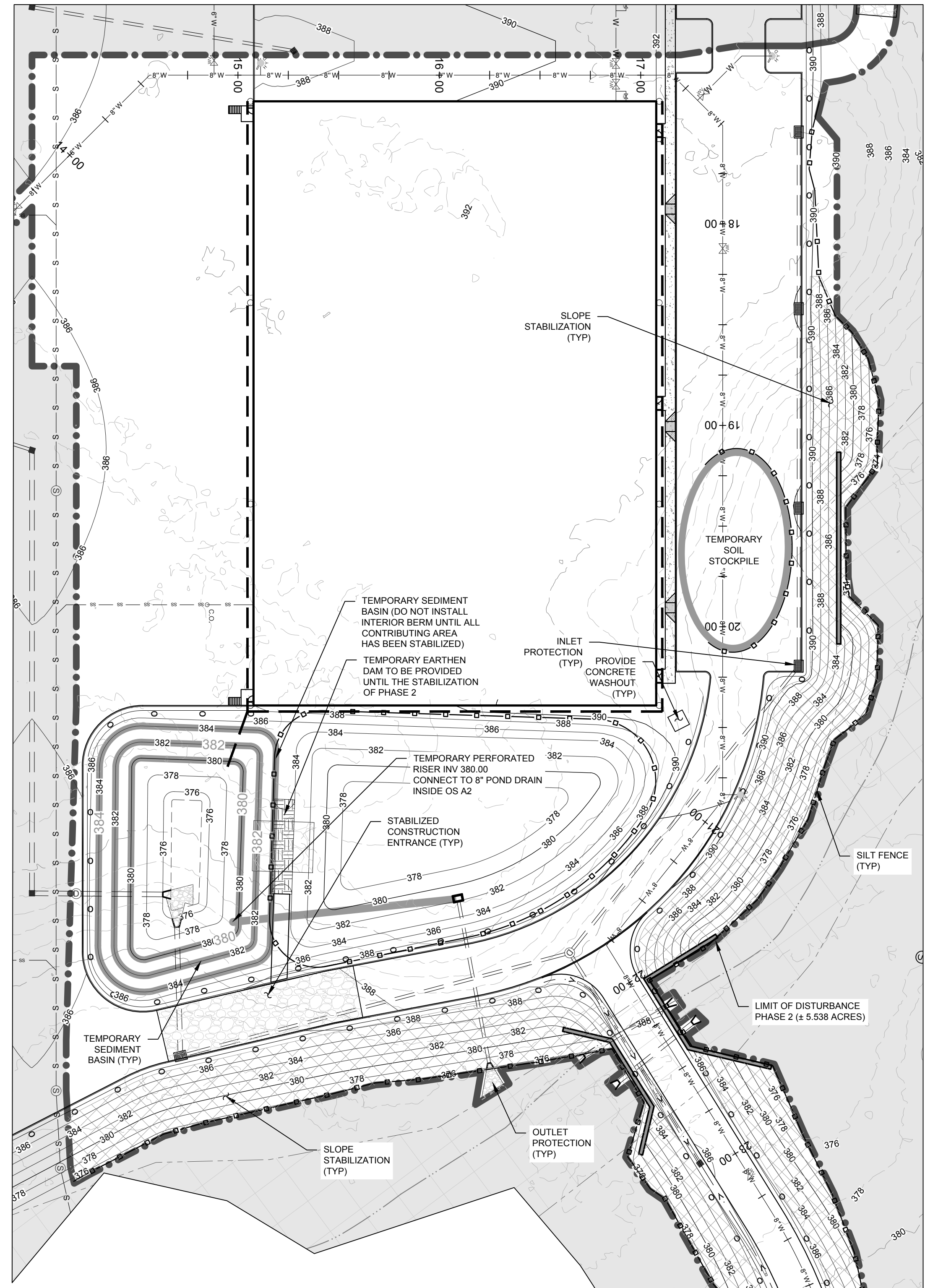
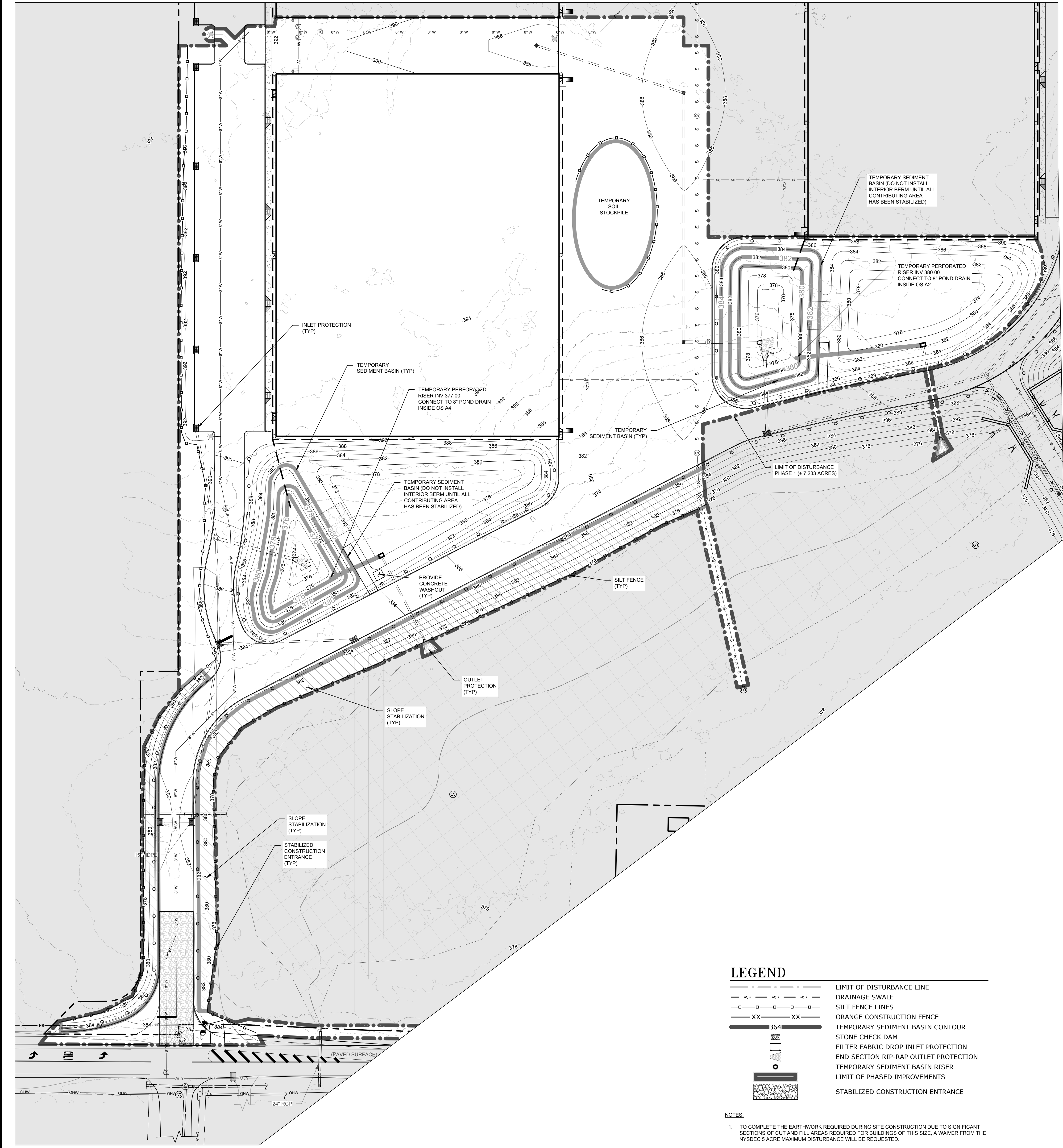
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PHASING PLAN
 KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 60'
REVISION:	6 - 03/10/2023	TAX LOT:	211-1-29.22

C-105

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LEGEND

- - - - -	LIMIT OF DISTURBANCE LINE
—x—x—x—x—	DRAINAGE SWALE
—o—o—o—o—	SILT FENCE LINES
XX—XX	ORANGE CONSTRUCTION FENCE
364	TEMPORARY SEDIMENT BASIN CONTOUR
[Symbol]	STONE CHECK DAM
[Symbol]	FILTER FABRIC DROP INLET PROTECTION
[Symbol]	END SECTION RIP-RAP OUTLET PROTECTION
[Symbol]	TEMPORARY SEDIMENT BASIN RISER
[Symbol]	LIMIT OF PHASED IMPROVEMENTS
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE

NOTES:

1. TO COMPLETE THE EARTHWORK REQUIRED DURING SITE CONSTRUCTION DUE TO SIGNIFICANT SECTIONS OF CUT AND FILL AREAS REQUIRED FOR BUILDINGS OF THIS SIZE, A WAIVER FROM THE NYSDEC 5 ACRE MAXIMUM DISTURBANCE WILL BE REQUESTED.
2. ANY SITE WORK PERFORMED DURING THE "WINTER MONTHS" WHICH CONSIST OF NOVEMBER 15 THRU APRIL 1, SHALL COMPLY WITH ALL ADDITIONAL MEASURES NOTED ON THIS PLAN REFERRING TO WINTER MONTHS. ALL EROSION & SEDIMENT CONTROL NOTES LOCATED ON THE DETAIL SHEETS WITHIN THIS PLAN SET AND THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, SPECIFICALLY PAGE 2.38.
3. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT AT LEAST TWO (2) SITE INSPECTIONS IN ACCORDANCE WITH PART IV.C. OF THIS PERMIT EVERY SEVEN (7) CALENDAR DAYS, FOR AS LONG AS GREATER THAN FIVE (5) ACRES OF SOIL REMAIN DISTURBED. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.
4. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. THE SOIL STABILIZATION MEASURES SELECTED SHALL BE IN CONFORMANCE WITH THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016.



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Revisions:

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
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3	06/10/22	REVISED PER PB COMMENTS
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6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

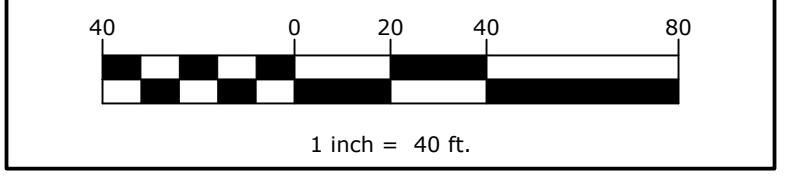
DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		03/10/2023
<input checked="" type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	7 OF 15
<input type="checkbox"/>	OCDDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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NEW YORK LICENSE # 071701



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EROSION & SEDIMENT CONTROL PLAN
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
SCALE: ZS
DATE: 12/10/2021
SCALE: 1" = 40'
REVISION: 6 - 03/10/2023
TAX LOT: 211-1-29-22

C-106

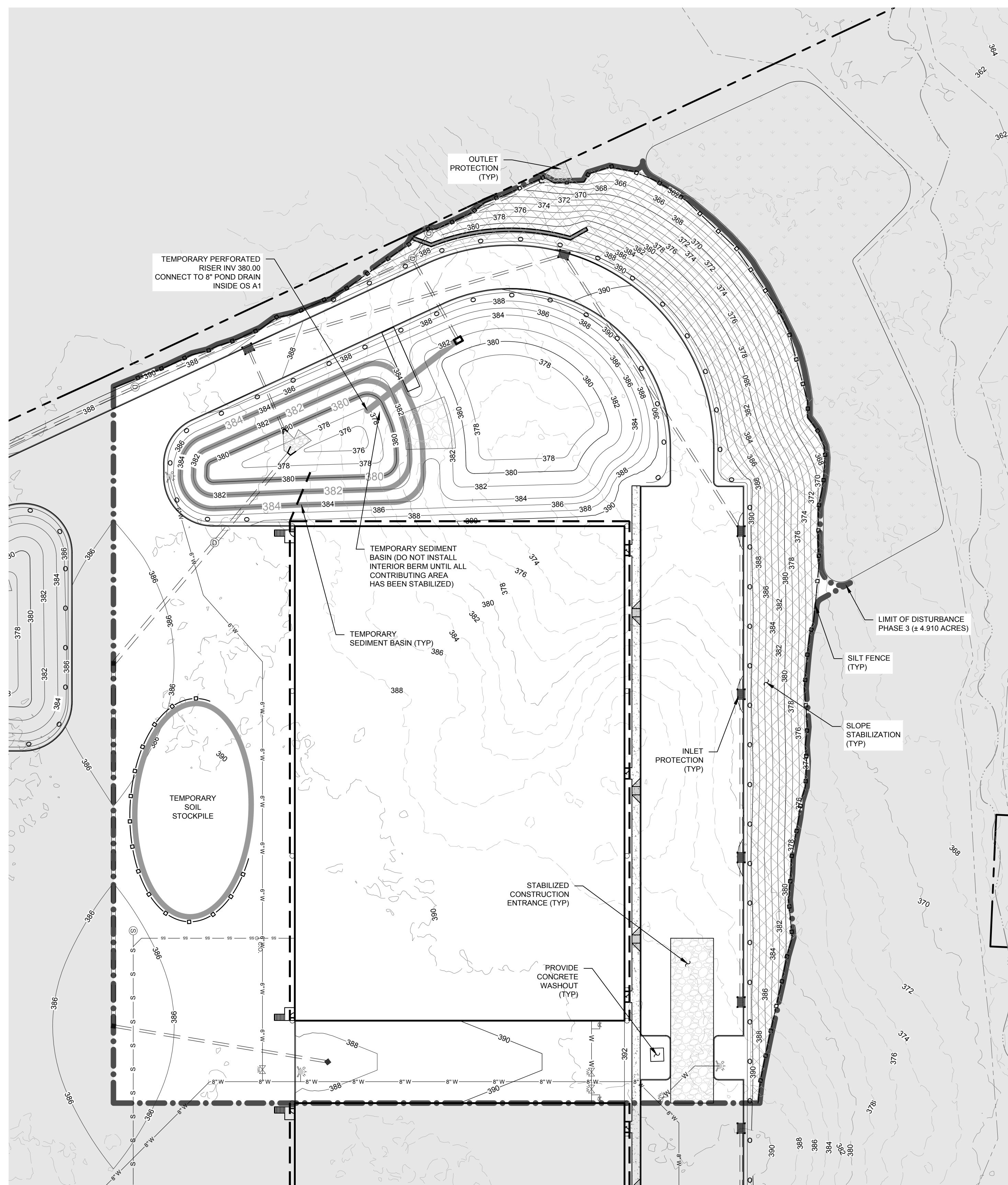
SCALE: 1" = 40'

PHASE 1 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 60'

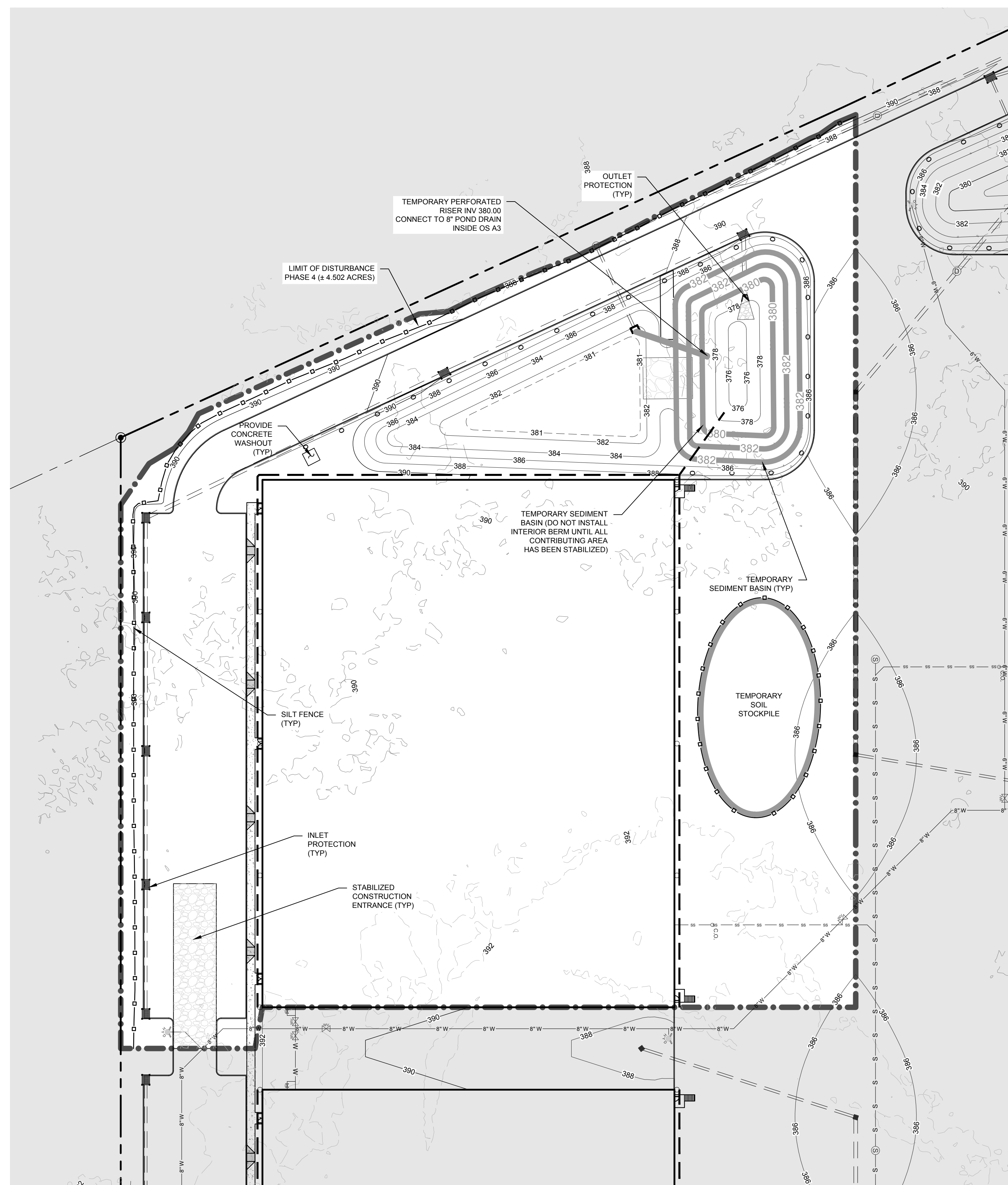
PHASE 2 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'



PHASE 3 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'



PHASE 4 EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'

LEGEND

- LIMIT OF DISTURBANCE LINE
- DRAINAGE SWALE
- SILT FENCE LINES
- ORANGE CONSTRUCTION FENCE
- TEMPORARY SEDIMENT BASIN CONTOUR
- STONE CHECK DAM
- FILTER FABRIC DROP INLET PROTECTION
- END SECTION RIP-RAP OUTLET PROTECTION
- TEMPORARY SEDIMENT BASIN RISER
- LIMIT OF PHASED IMPROVEMENTS
- STABILIZED CONSTRUCTION ENTRANCE

NOTES

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SHEET NUMBER		
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	8 OF 15
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

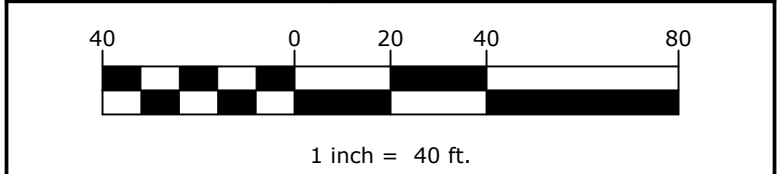
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 KSH ROUTE 211 DEVELOPMENT
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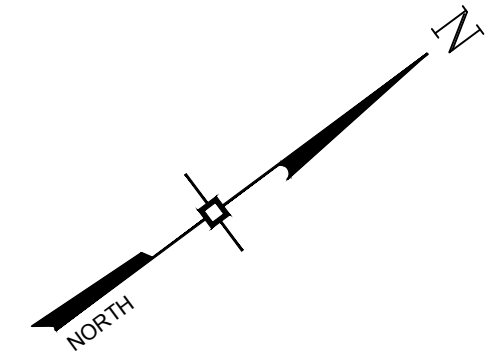
JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 6 - 03/10/2023 TAX LOT: 211-1-29-22

C-107

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LEGEND

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE



Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18L-SIL-5W-30-70CRI 25 POLE 2'-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 25 POLE 2'-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI 25 POLE 2'-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12L-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18L-SIL-FT-30-70CRI-IL 25 POLE 2'-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18L-SIL-2-30-70CRI-IL 25 POLE 2'-6" BASE	LED	1	0.950	18128	135	1215

REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
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TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
(FILED MAP 1511, LOT 15)

REPUTED OWNER:
OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
DEED BOOK: 13085, PAGE: 1032
(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)



No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		03/10/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	9	OF 15
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

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LIGHTING PLAN
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DATE: 12/10/2021
REVISION: 6 - 03/10/2023

DRAWN BY: JM
SCALE: 1" = 40'
TAX LOT: 211-1-29.22

C-108

DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11567, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 13230, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

REPUTED OWNER:
PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:
BLUE SWARD HOLDING CORP
TAX MAP ID: 211-1-25
DEED BOOK: 14213, PAGE: 1498

REPUTED OWNER:
REALE
TAX MAP ID: 211-1-26
DEED BOOK: 4608, PAGE: 63

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 229

REPUTED OWNER:
EMBRO
TAX MAP ID: 211-1-28
DEED BOOK: 3156, PAGE: 41

LEGEND

- EDGE OF CURBED ROADWAY
- SIDEWALK
- BUILDING
- RETAINING WALL
- MATCH LINE
- EXISTING PROPERTY LINE

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5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

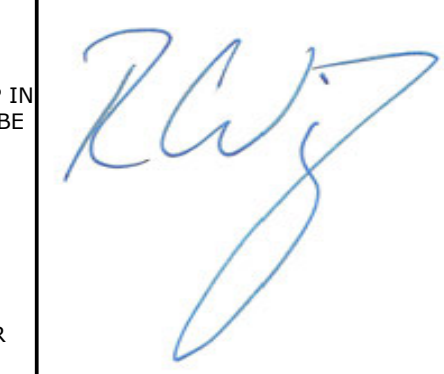
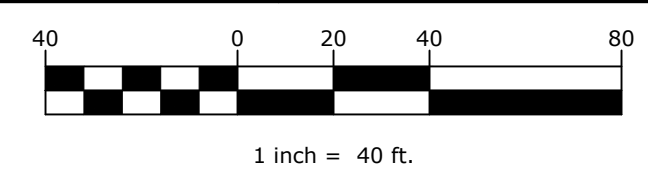
DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		03/10/2023
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	10	OF 15
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LSI Industries	SLM-LED-18-SIL-SW-30-70CRI 25' POLE 2-6" BASE	LED	2	0.950	18128	135	540
	B	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18526	135	810
	C	6	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 25' POLE 2-6" BASE	LED	1	0.950	18421	135	810
	D	16	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI 30' WALL MOUNTING HEIGHT	LED	1	0.950	18526	135	2160
	E	18	LSI Industries	SLM-LED-12-SIL-3-30-70CRI 20' WALL MOUNTING HEIGHT	LED	1	0.950	11803	85	1020
	F	7	LSI Industries	SLM-LED-18-SIL-FT-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	10708	135	945
	G	9	LSI Industries	SLM-LED-18-SIL-2-30-70CRI-IL 25' POLE 2-6" BASE	LED	1	0.950	18128	135	1215

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LIGHTING PLAN

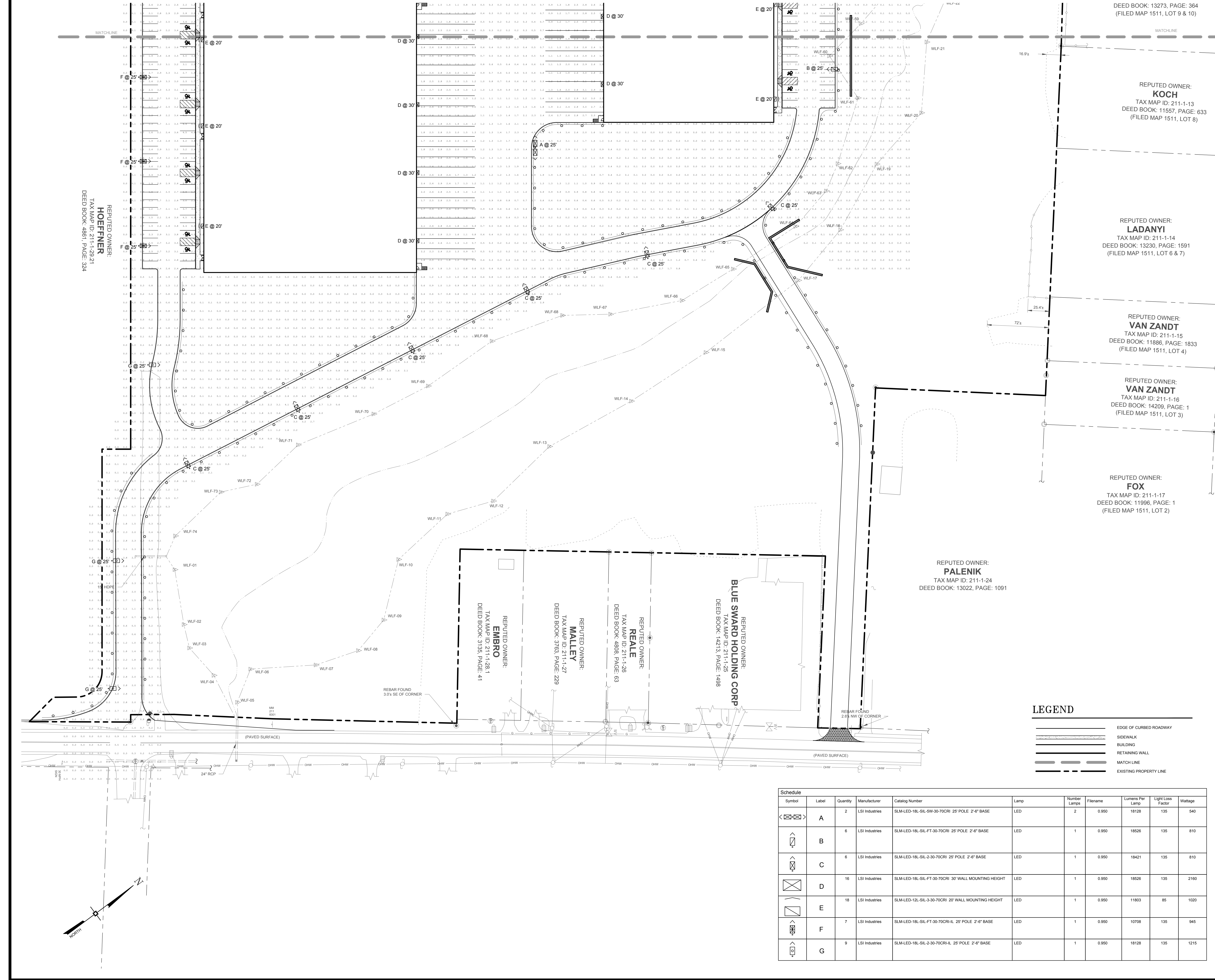
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01
DATE: 12/10/2021
REVISION: 6 - 03/10/2023

DRAWN BY: JM
SCALE: 1" = 40'
TAX LOT: 211-1-29-22

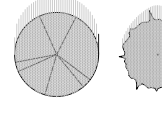
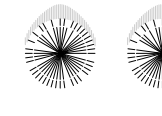
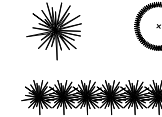
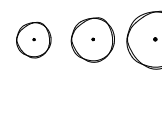
C-109

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RETENTION/DETENTION POND PLANTINGS:

-  DRAW DOWN ZONE/ EMERGENT AREA:
NORTHEAST WETLAND NATIVE WILDOFLOWER MIX
-  PERMANENT GRASS MIX
-  NORTHEAST WETLAND GRASS SEED MIX

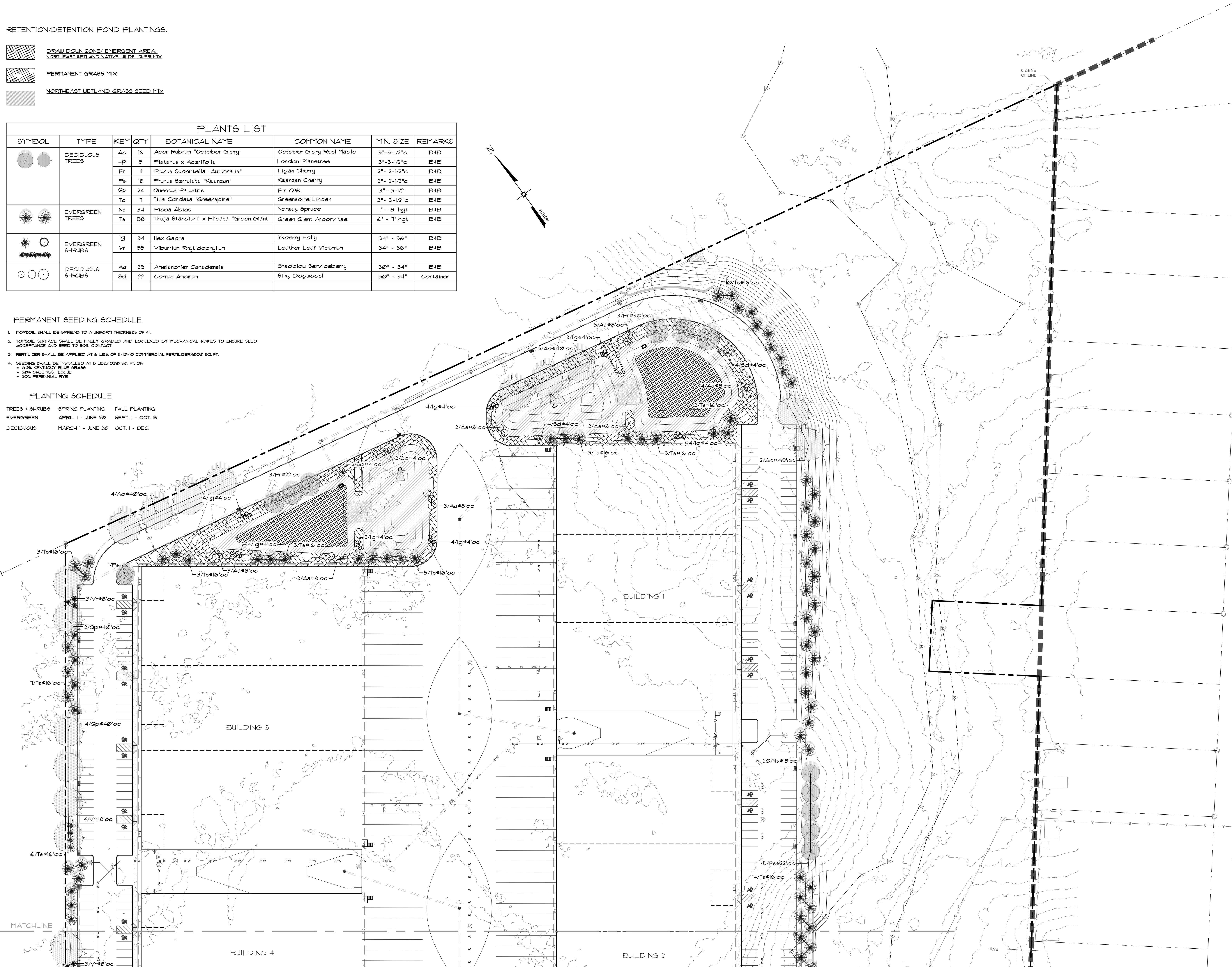
PLANTS LIST							
SYMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
	DECIDUOUS TREES	Ao	16	Acer Rubrum "October Glory"	October Glory Red Maple	3"-3-1/2" c	B4B
		Lp	5	Platanus x Acerifolia	London Planetree	3"-3-1/2" c	B4B
		Pr	11	Prunus Subhirtella "Autumnalis"	Higan Cherry	2"- 2-1/2" c	B4B
		Pe	18	Prunus serrulata "Kwanzan"	Kwanzan Cherry	2"- 2-1/2" c	B4B
		Qp	24	Quercus Palustris	Pin Oak	3"- 3-1/2" c	B4B
	EVERGREEN TREES	Tc	7	Tilia Cordata "Greenspire"	Greenspire Linden	3"- 3-1/2" c	B4B
		Ns	34	Picea Abies	Norway Spruce	7' - 8' hgt	B4B
		Ts	58	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' hgt	B4B
	EVERGREEN SHRUBS	Ig	34	Ilex Glabra	Inkberry Holly	34" - 36"	B4B
		Vr	55	Viburnum Rhytidophyllum	Leather Leaf Viburnum	34" - 36"	B4B
	DECIDUOUS SHRUBS	Aa	29	Amelanchier Canadensis	Shadbloow Serviceberry	30" - 34"	B4B
		Sd	22	Cornus Amomum	Silky Dogwood	30" - 34"	Container

PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
 - 60% KENTUCKY BLUE GRASS
 - 20% CHEVINGS PESCUE
 - 20% PERENNIAL RYE

PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1




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<input type="checkbox"/> OCCOON REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOON WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
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<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

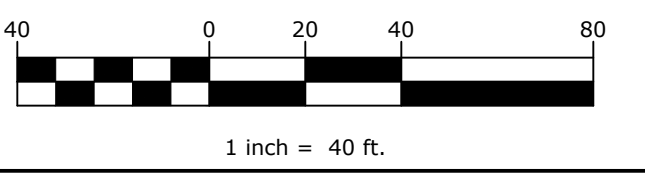
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NEW YORK LICENSE # 001169



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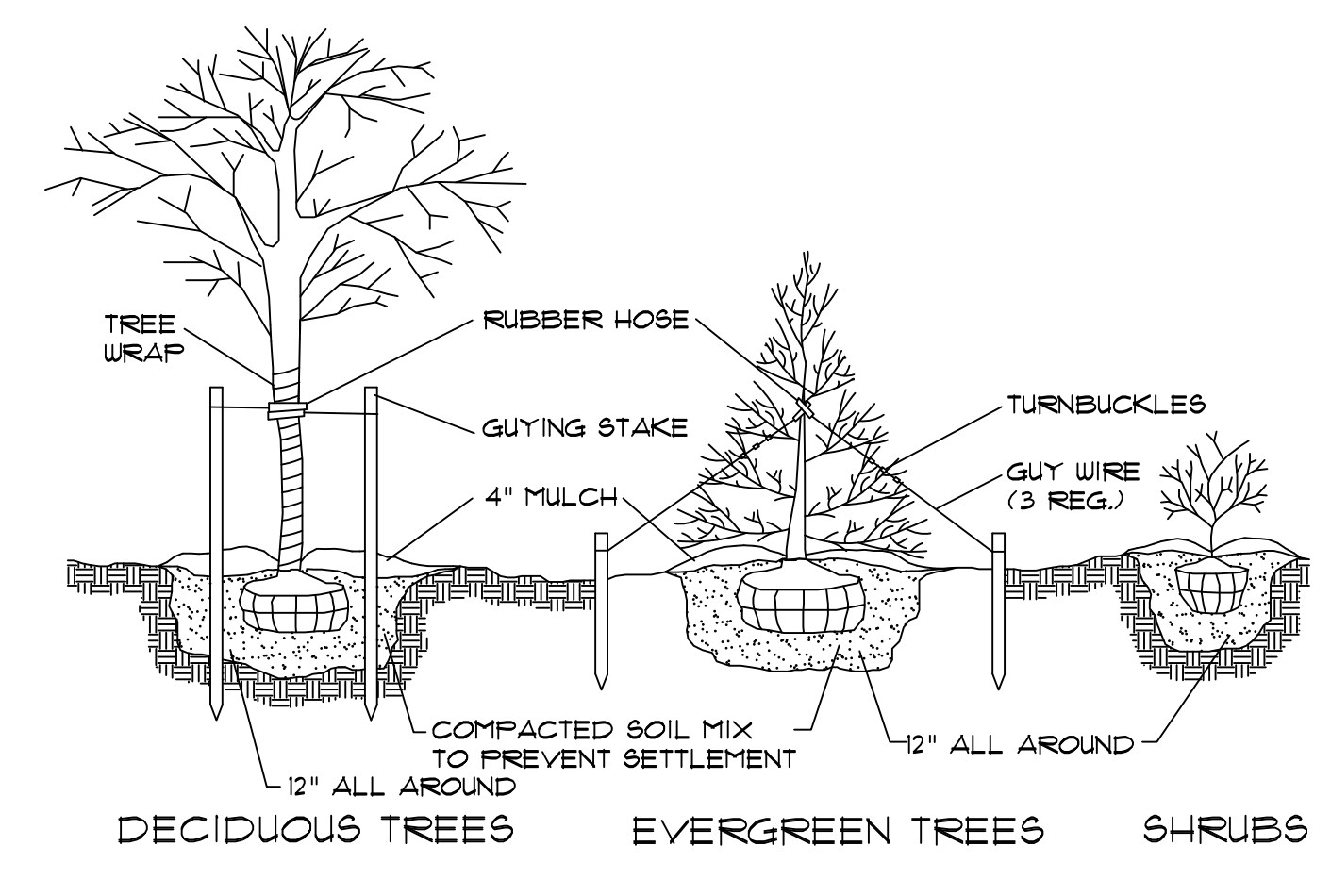
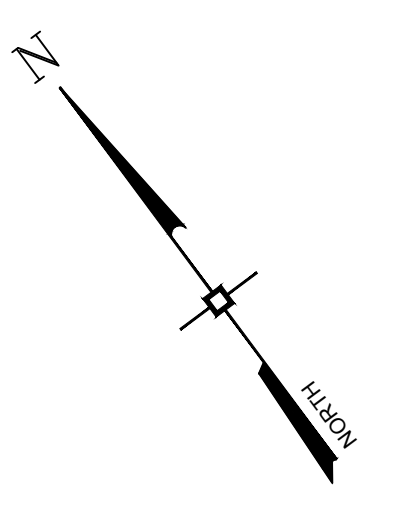
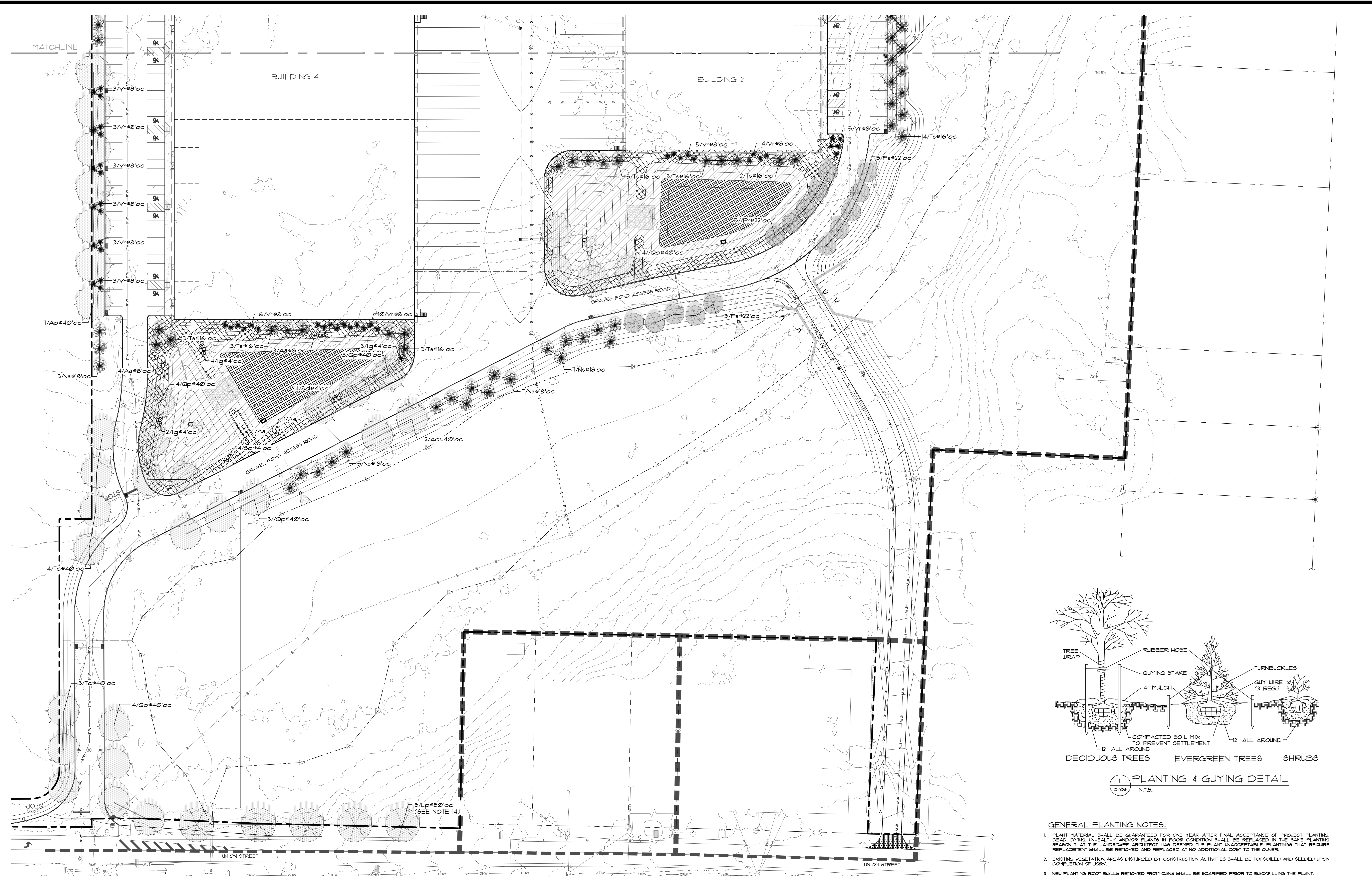
LANDSCAPE PLAN & DETAILS

KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	6 - 03/10/2023	TAX LOT:	211-1-29.22

C-110

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C-106 PLANTING & GUYING DETAIL
 N.T.S.

GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DETERMINED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND BEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY SHRUBS AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ANY CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4\"/>

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<input type="checkbox"/> COCDOM WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
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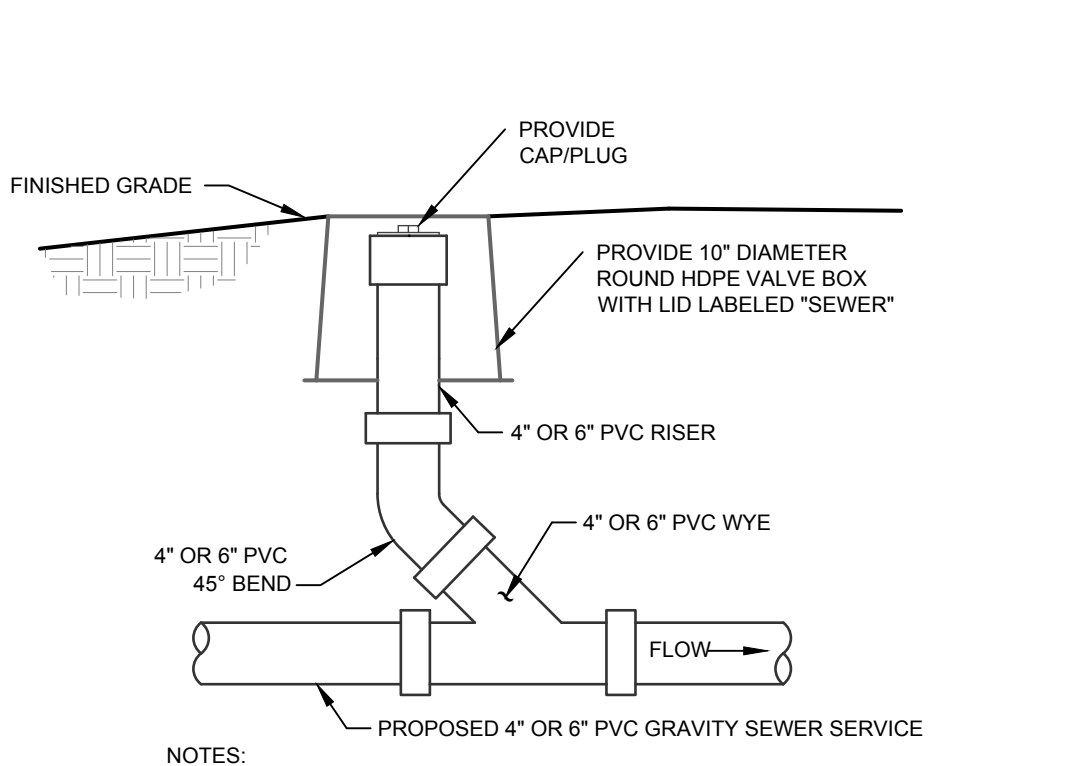
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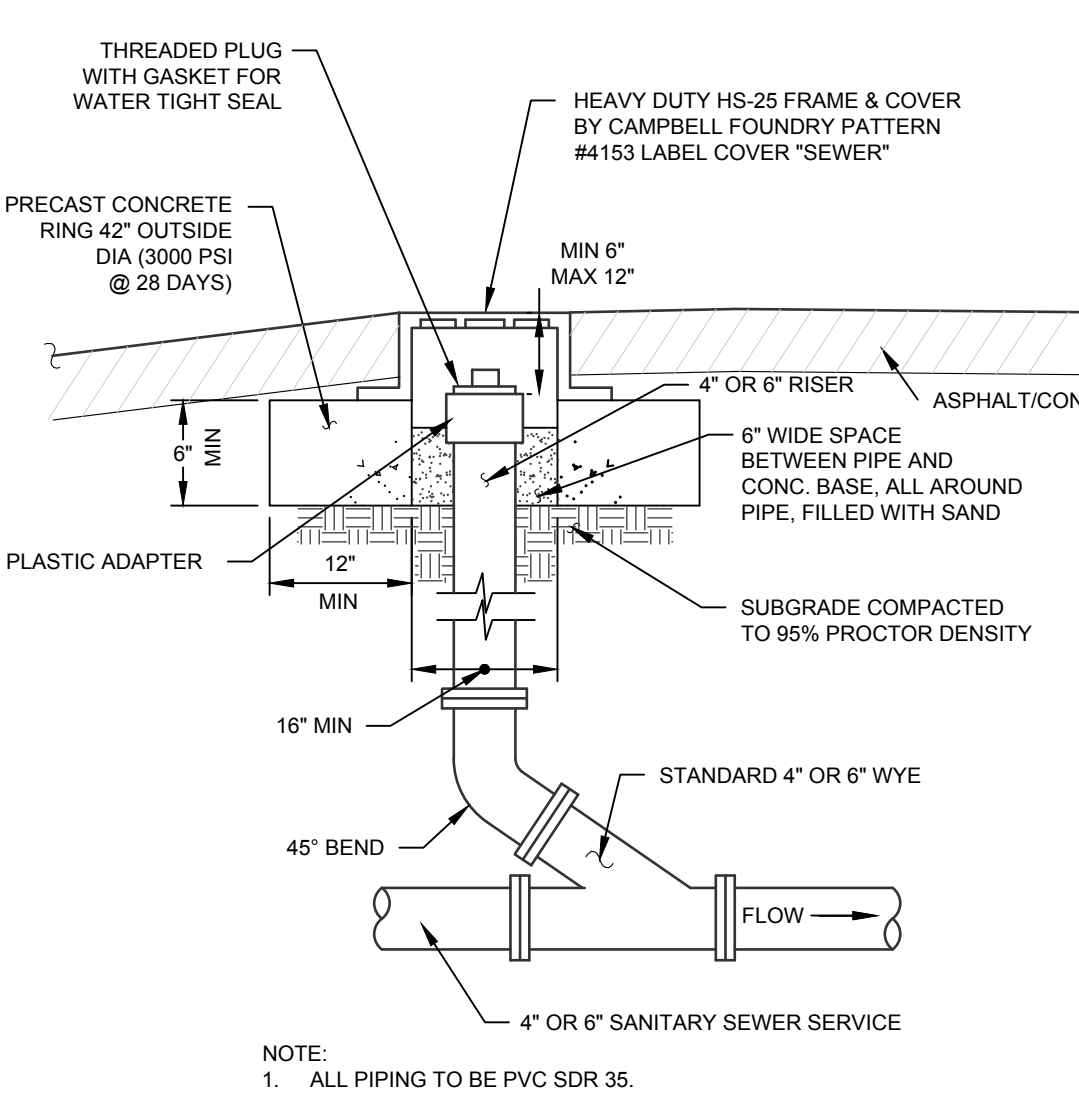
LANDSCAPE PLAN & DETAILS
 KSH ROUTE 211 DEVELOPMENT
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 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 6 - 03/10/2023 TAX LOT: 211-1-29.22

C-111



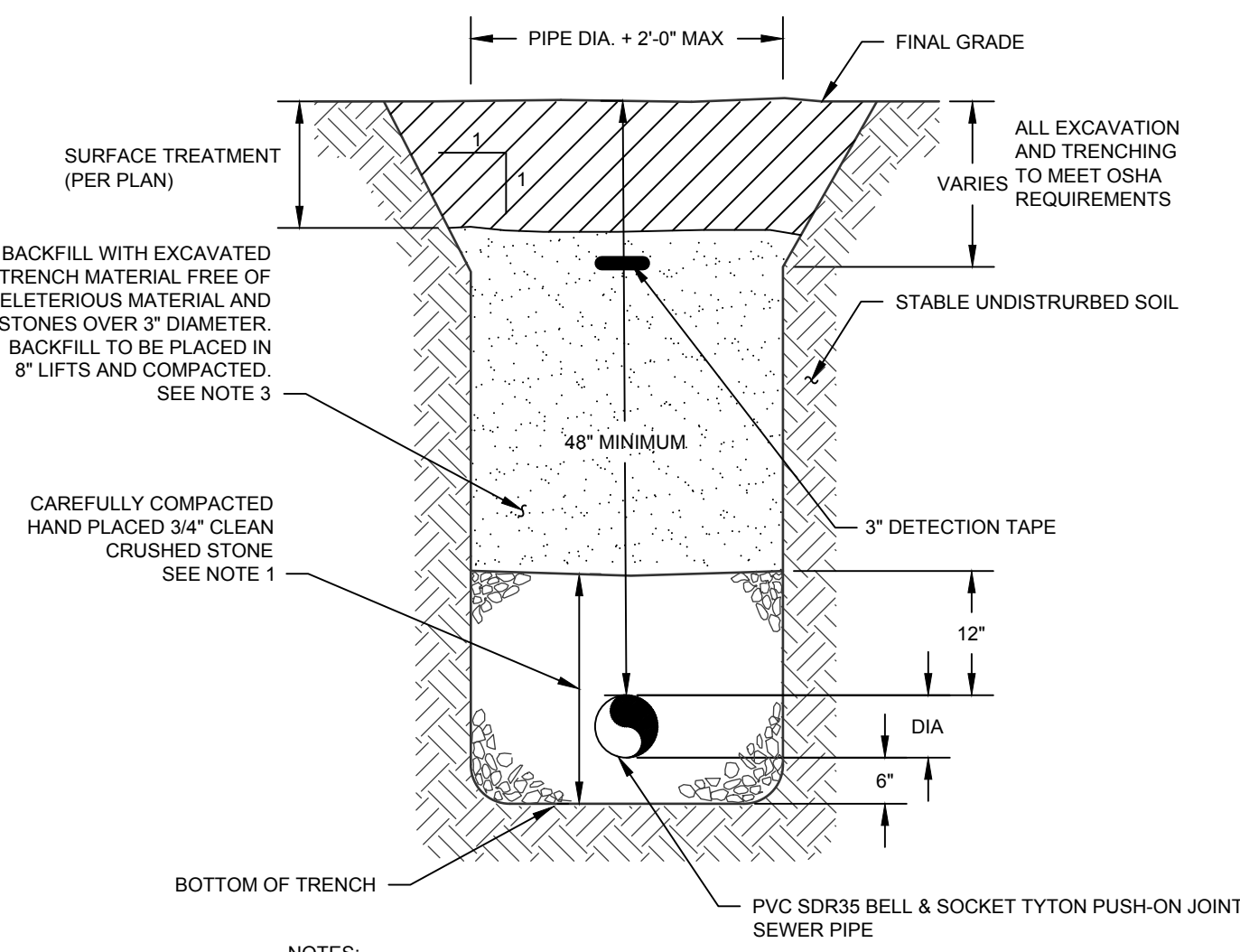
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SCALE: NONE



TYPICAL CLEANOUT IN PAVED AREA
SCALE: NTS

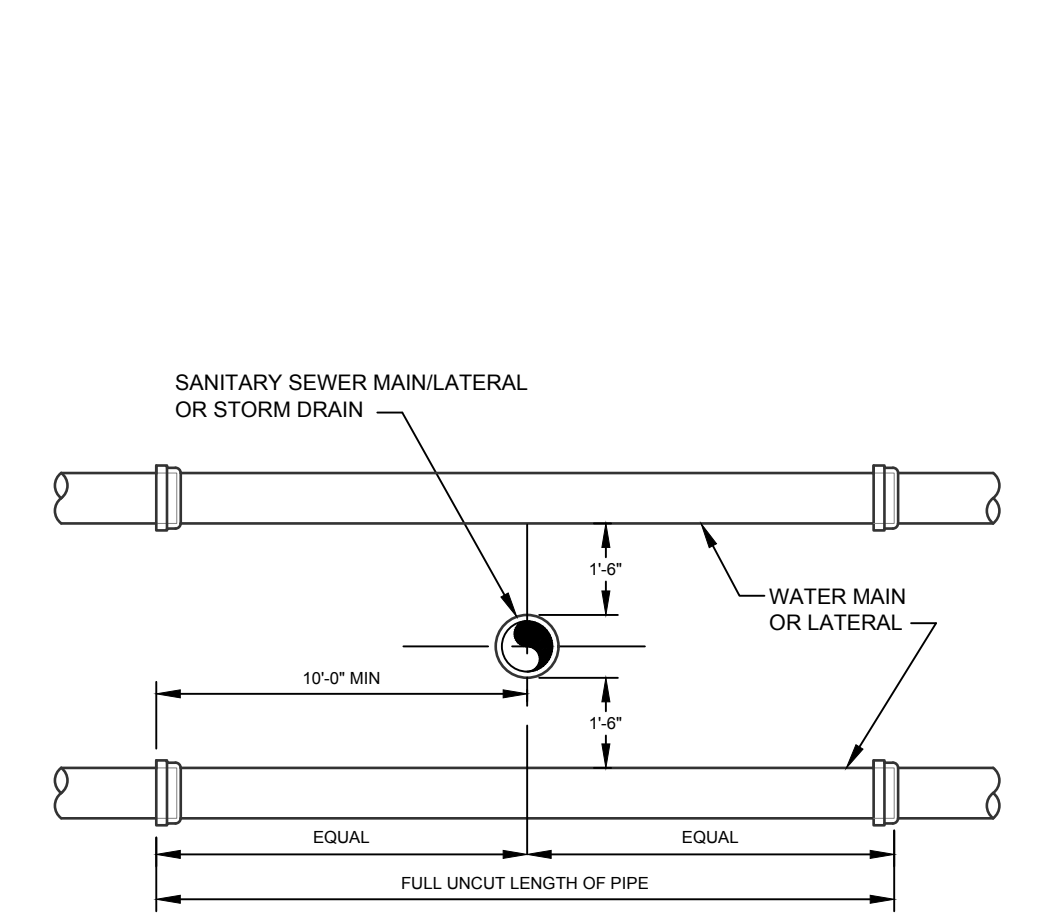
SEWER SYSTEM NOTES

1. ALL GRAVITY SEWER PIPE SHALL BE SDR-35 PVC AND ALL FORCEMAIN SEWER PIPE SHALL BE SDR-35 PVC.
2. IF GROUNDWATER IS ENCOUNTERED DURING TRENCH EXCAVATION, THE CONTRACTOR SHALL DEWATER THE TRENCH PRIOR TO INSTALLATION. ALL DEWATERING OPERATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR TO VERIFY INVERT ELEVATIONS OF EXISTING SEWER MAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT.
4. CONTRACTOR SHALL CALL THE VILLAGE OF MONTGOMERY DEPARTMENT OF PUBLIC WORKS (645-457-3095) AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS.
5. CONTRACTOR SHALL CALL UNDERGROUND MARKOUT AT 1-800-962-7962 AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS FOR COMPLETE UTILITY MARKOUT.
6. THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH VILLAGE OF MONTGOMERY TOWN CODE SECTION 194-26, INCLUDING BUT NOT LIMITED TO VACUUM TESTING OF MANHOLES, LOW PRESSURE AIR TEST OF MAINS AND LATERALS, AND VIDEO RECORDING OF ALL MAINS.
7. THE PROPOSED SEWERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL VILLAGE OF MONTGOMERY REQUIREMENTS. THE PROPOSED SEWERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.

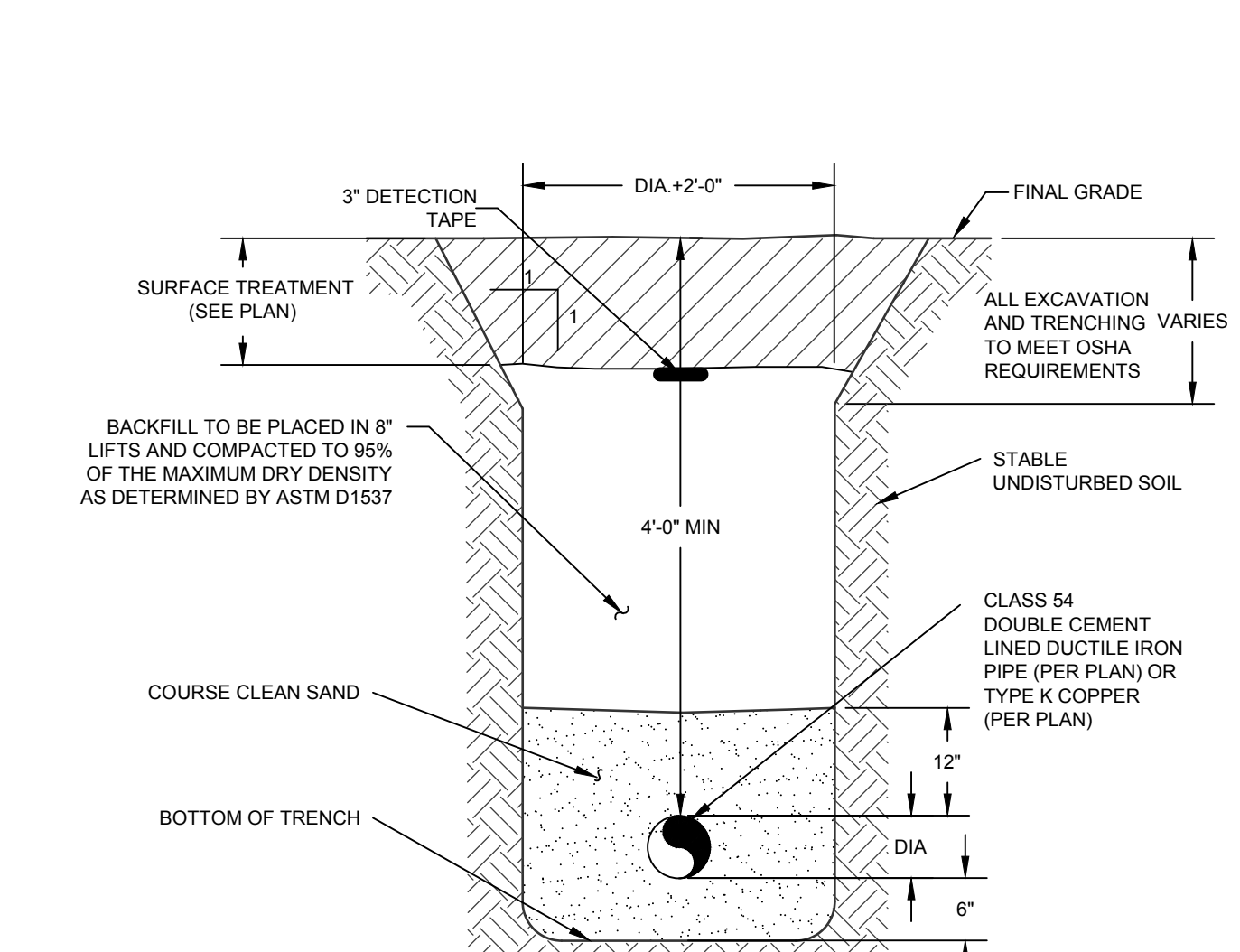


WATER PIPE TRENCH
SCALE: NTS

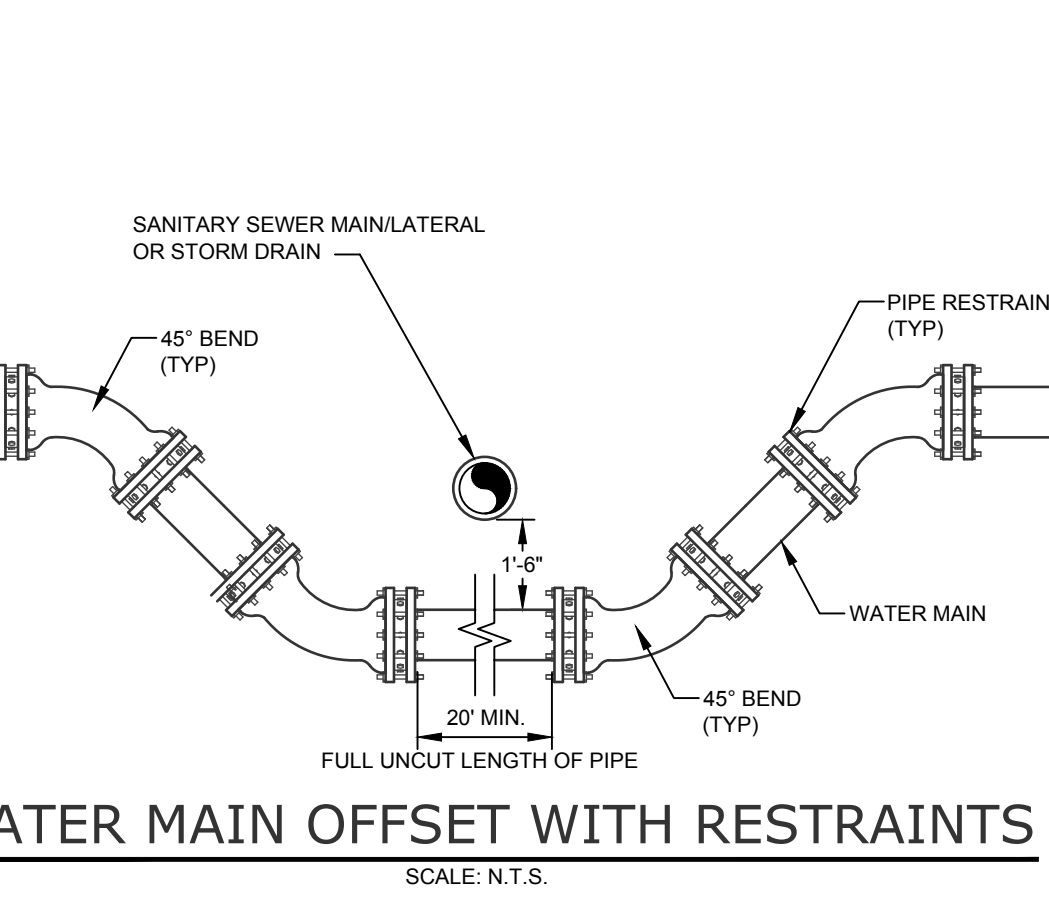
SEWER PIPE TRENCH



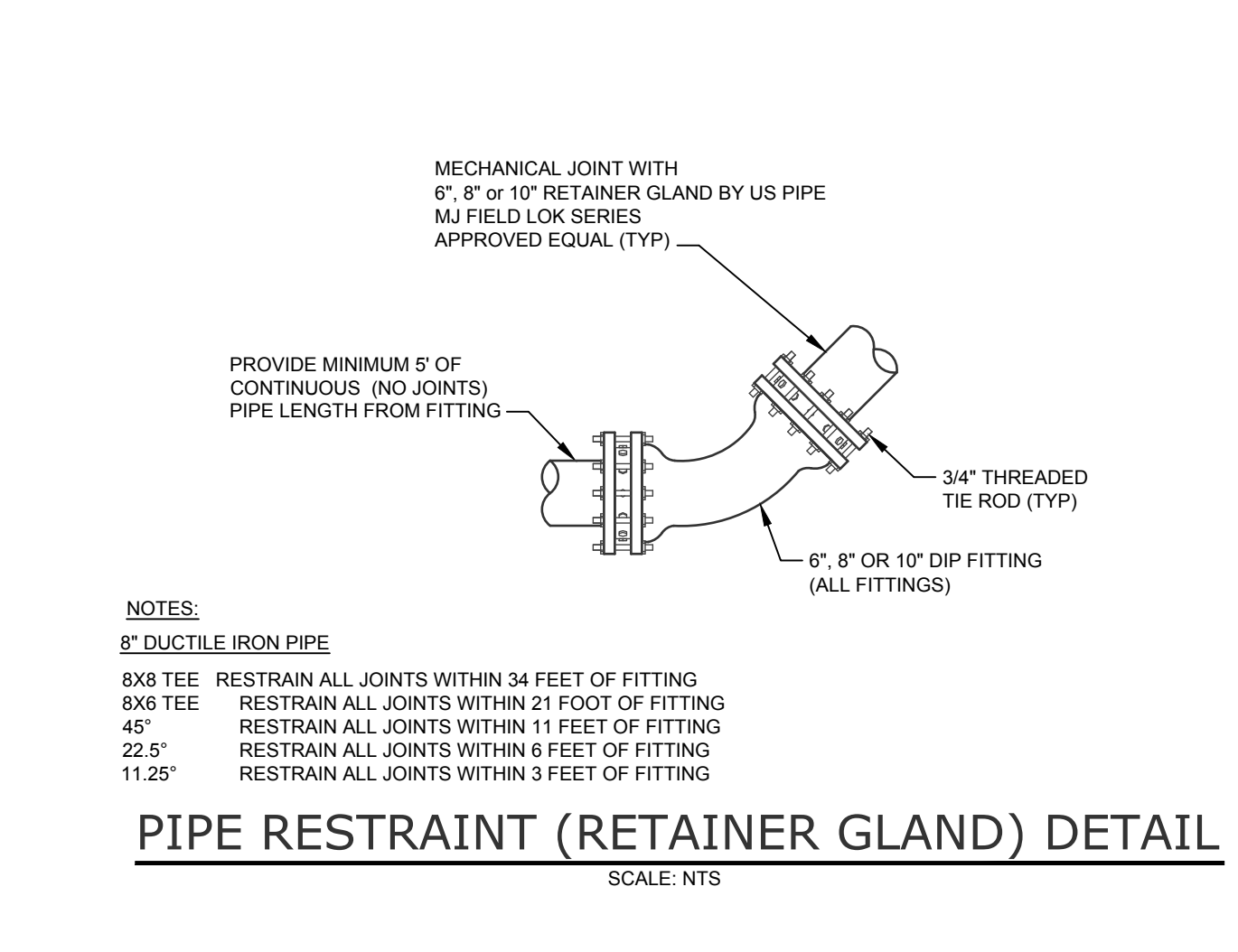
SEWER PIPE TRENCH
SCALE: NTS



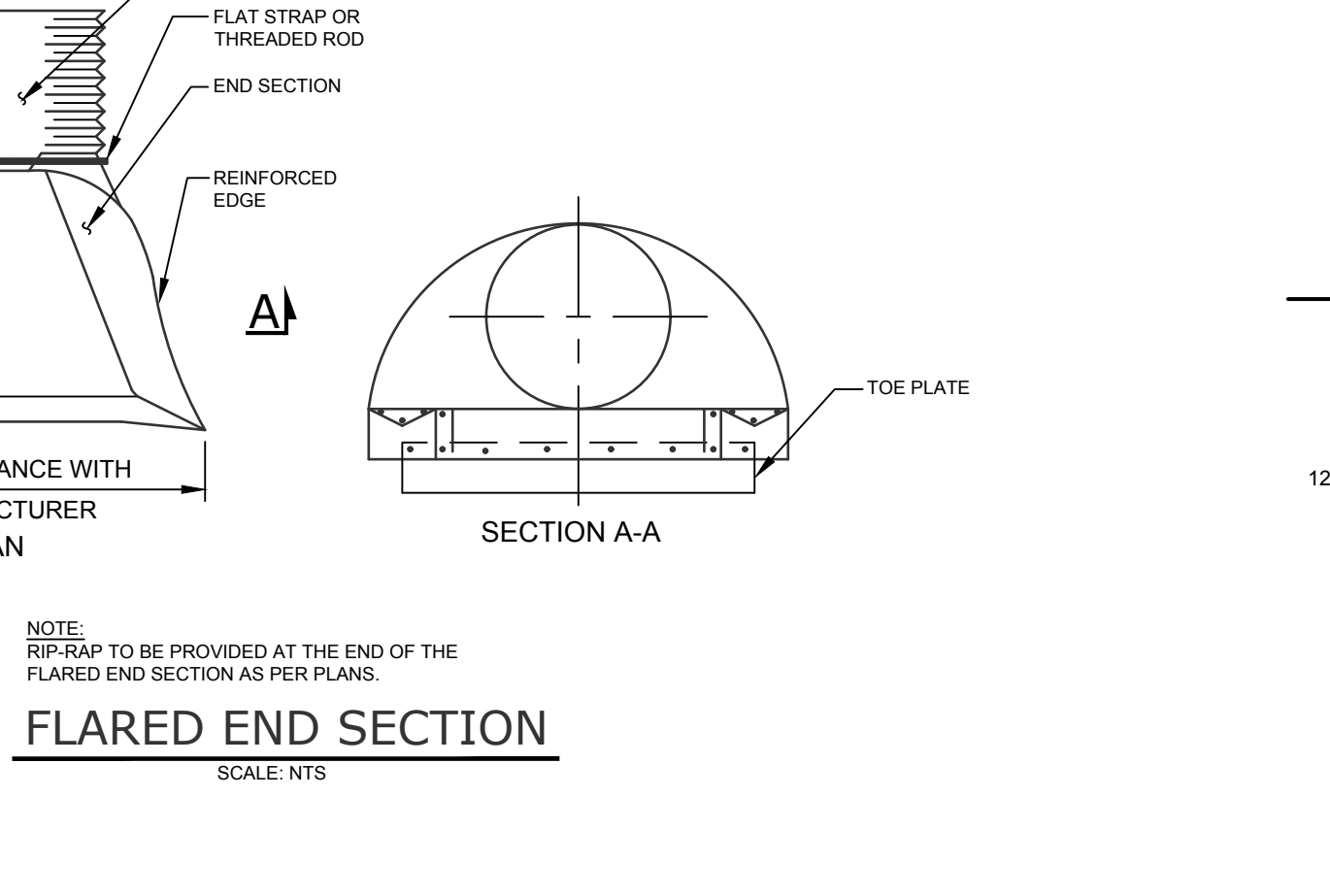
WATER MAIN OFFSET WITH RESTRAINTS
SCALE: N.T.S.



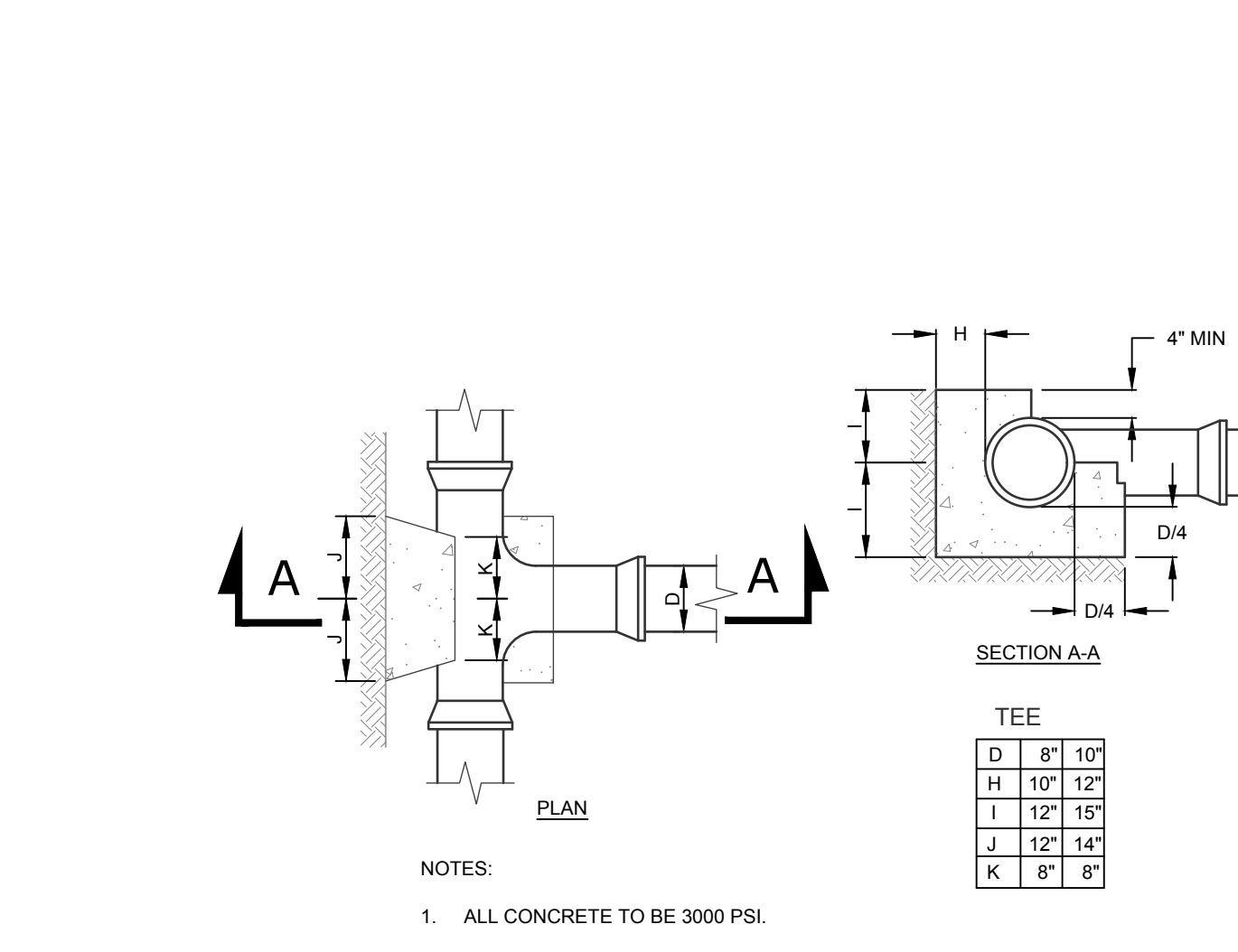
WATER MAIN OFFSET WITH RESTRAINTS
SCALE: N.T.S.



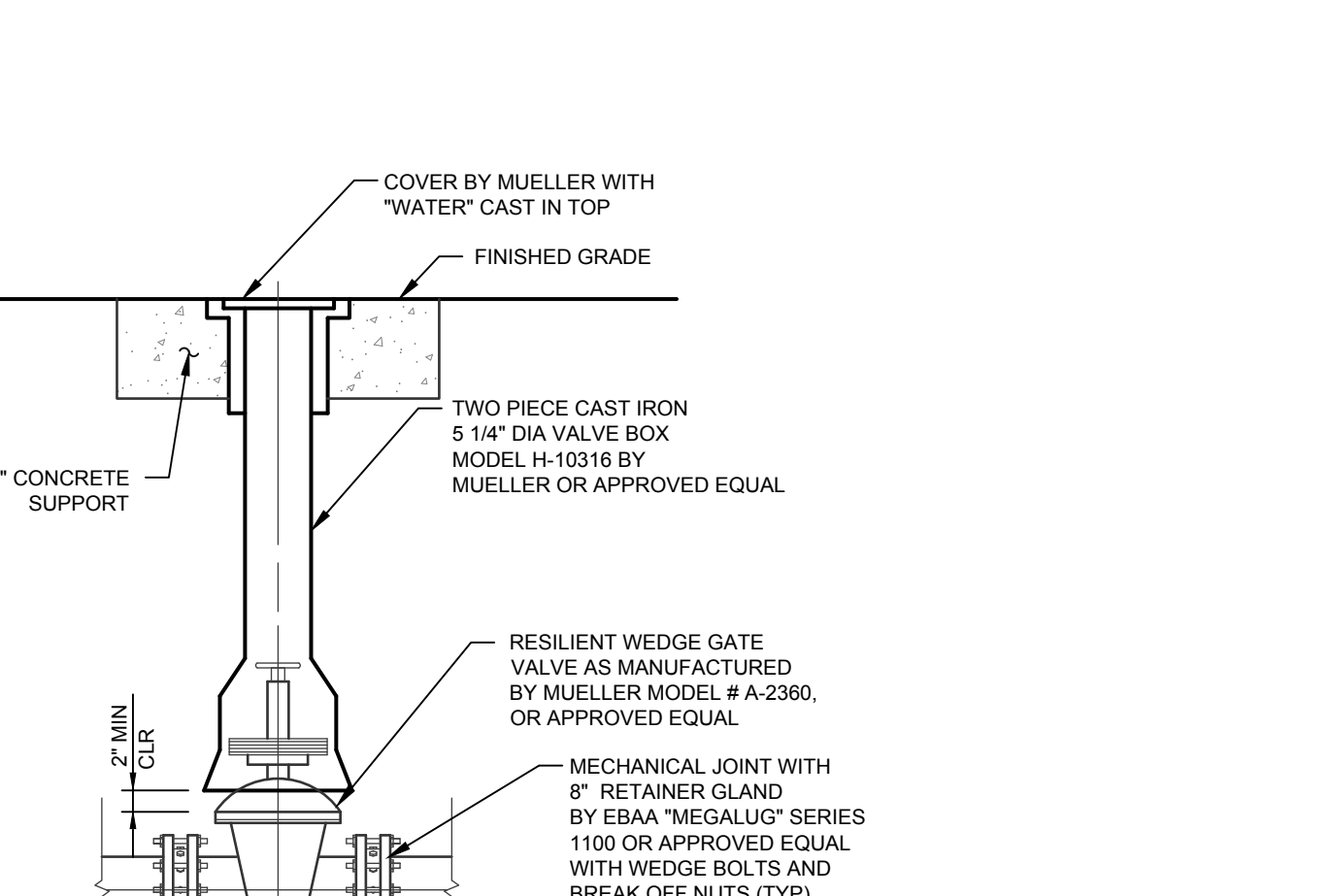
PIPE RESTRAINT (RETAINER GLAND) DETAIL
SCALE: NTS



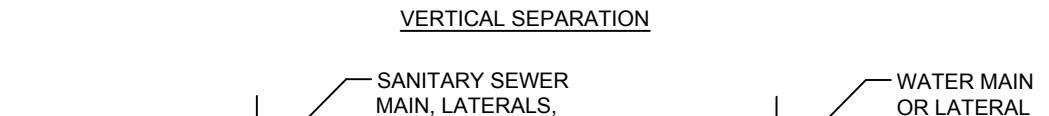
FLARED END SECTION
SCALE: NTS



THRUST BLOCK
SCALE: NTS



VALVE AND VALVE BOX
SCALE: NTS



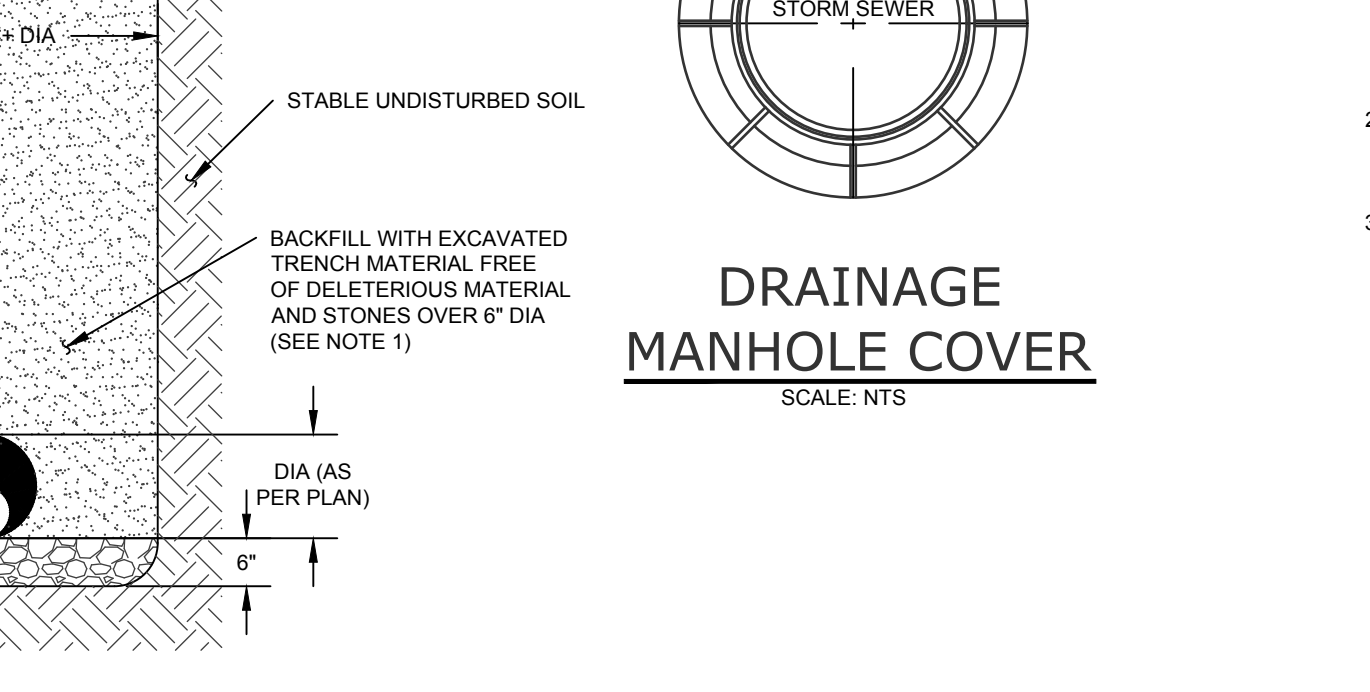
WATER/SEWER SEPARATION REQUIREMENTS
SCALE: NTS



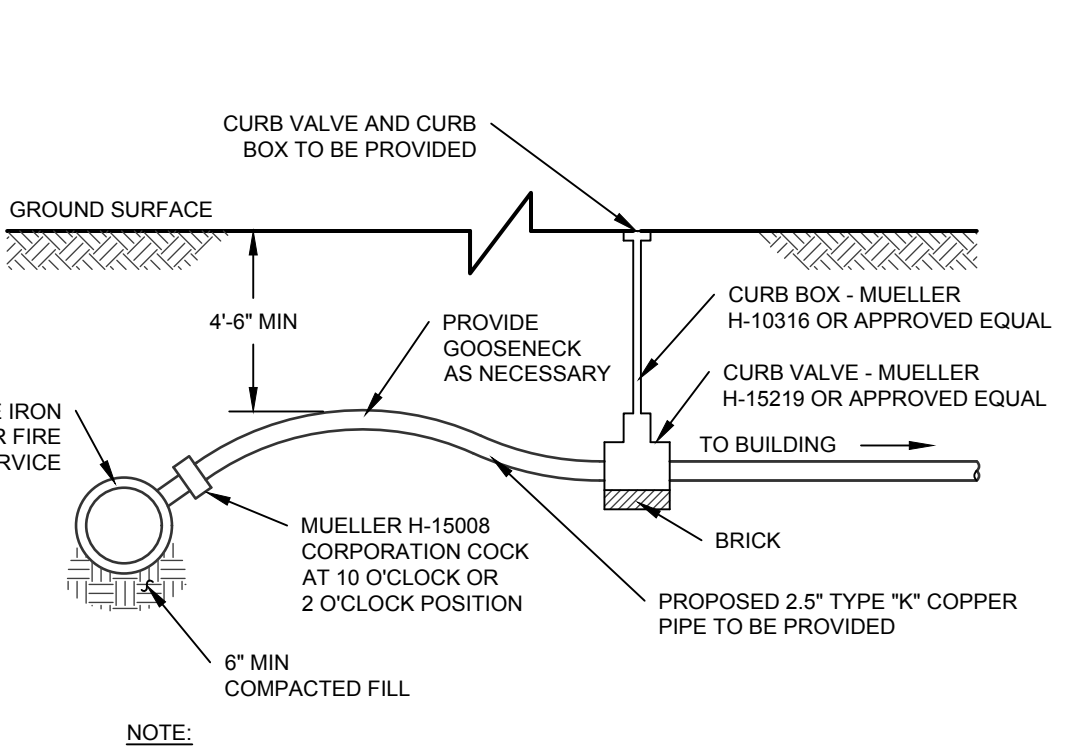
SEWER SERVICE CONNECTION
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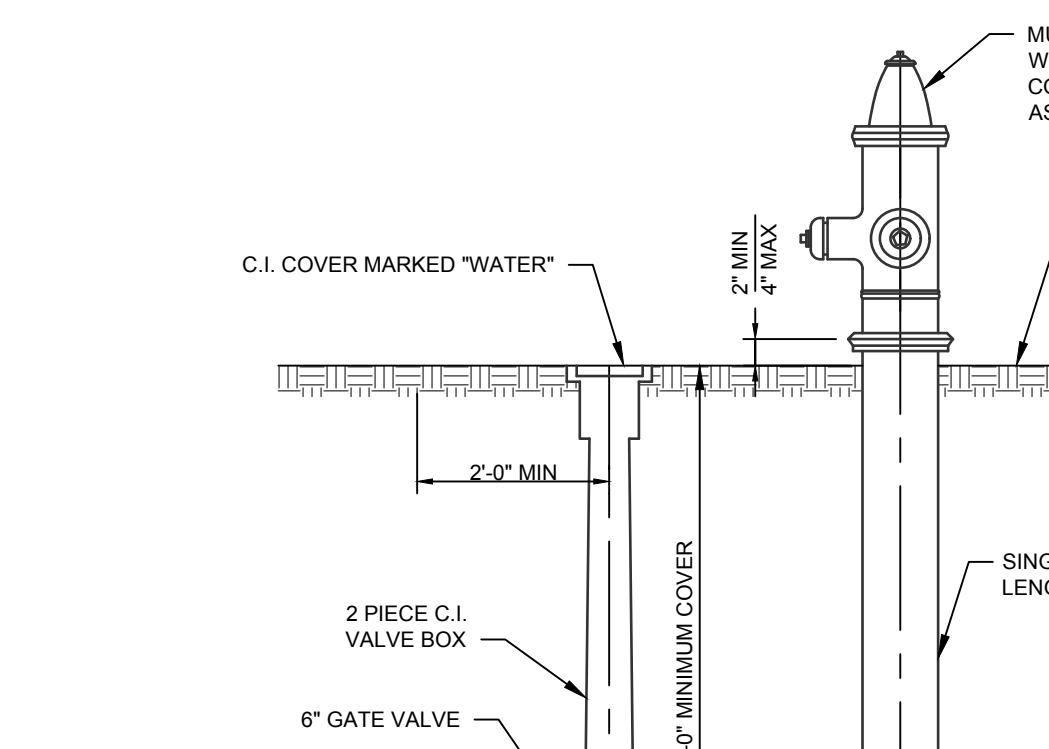
DRAINAGE MANHOLE COVER
SCALE: NTS



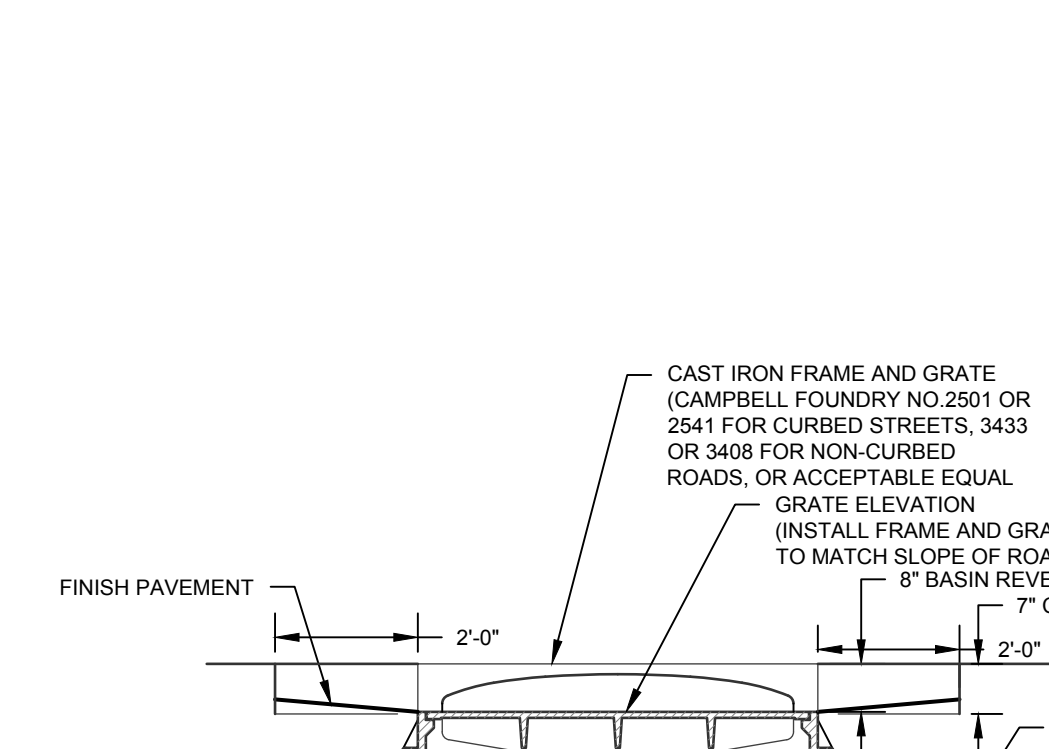
DRAINAGE PIPE TRENCH
SCALE: NTS



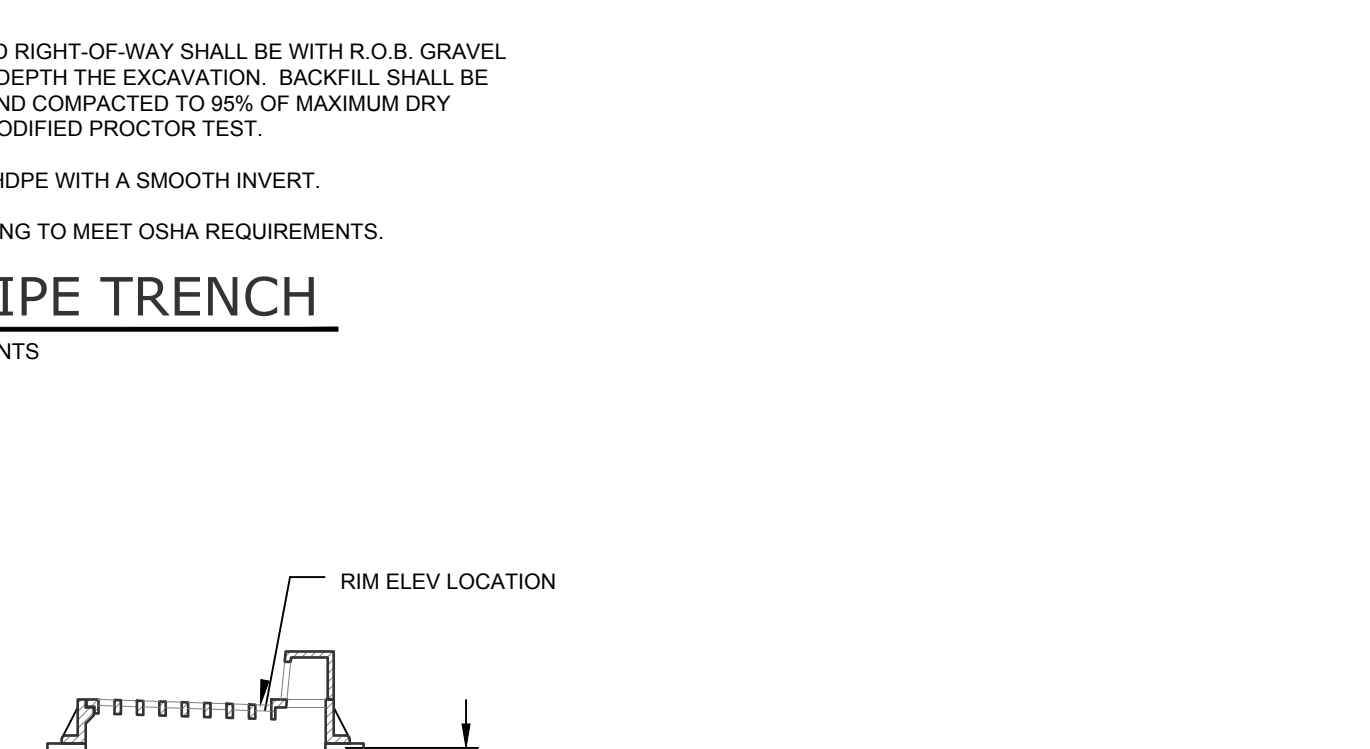
DOMESTIC WATER SERVICE CONNECTION
SCALE: NTS



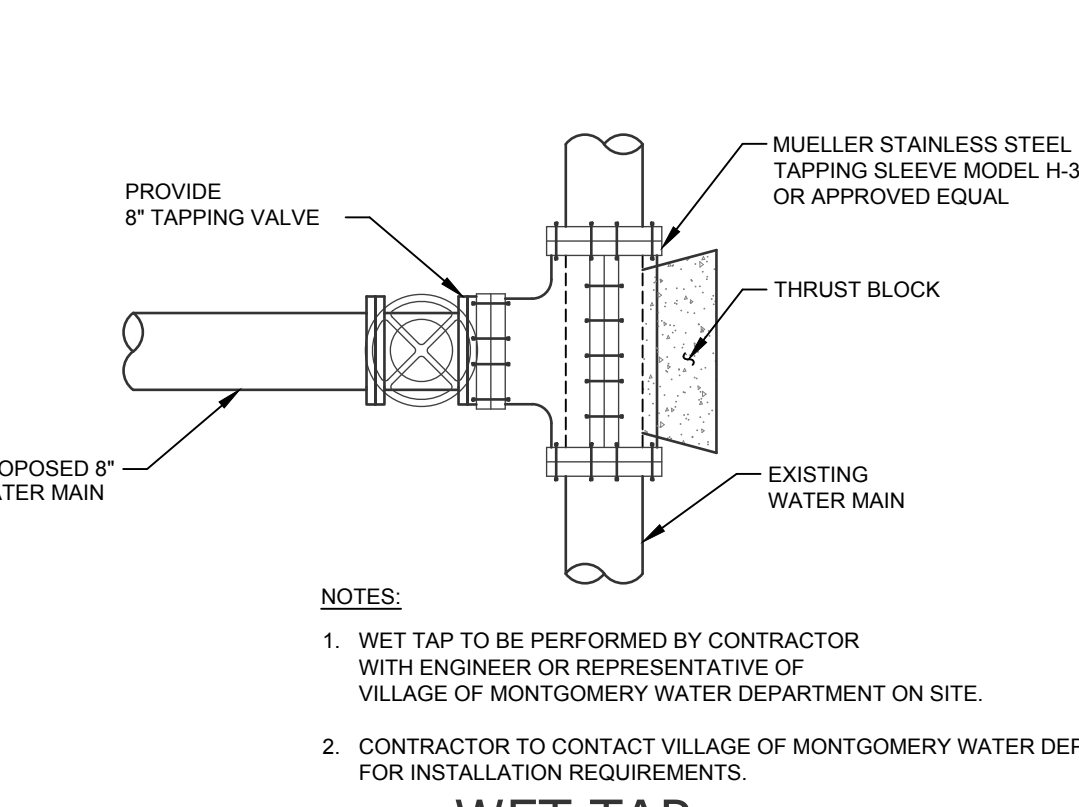
HYDRANT AND HYDRANT VALVE
SCALE: NTS



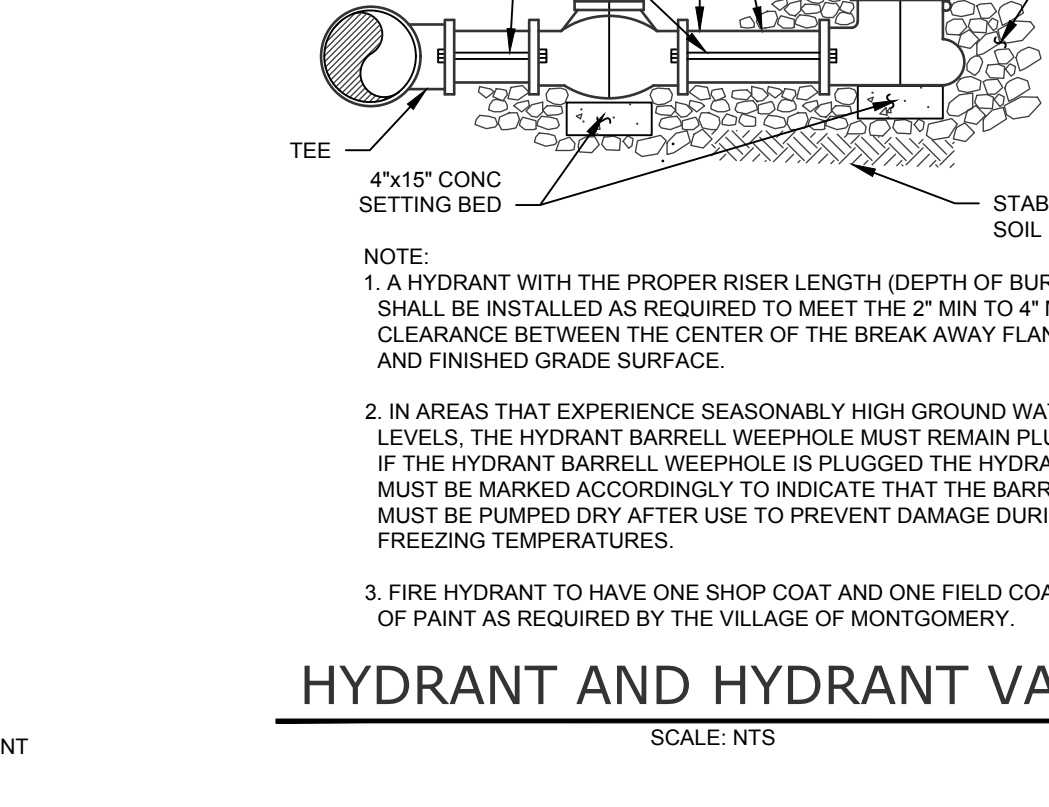
CATCH BASIN
SCALE: NTS



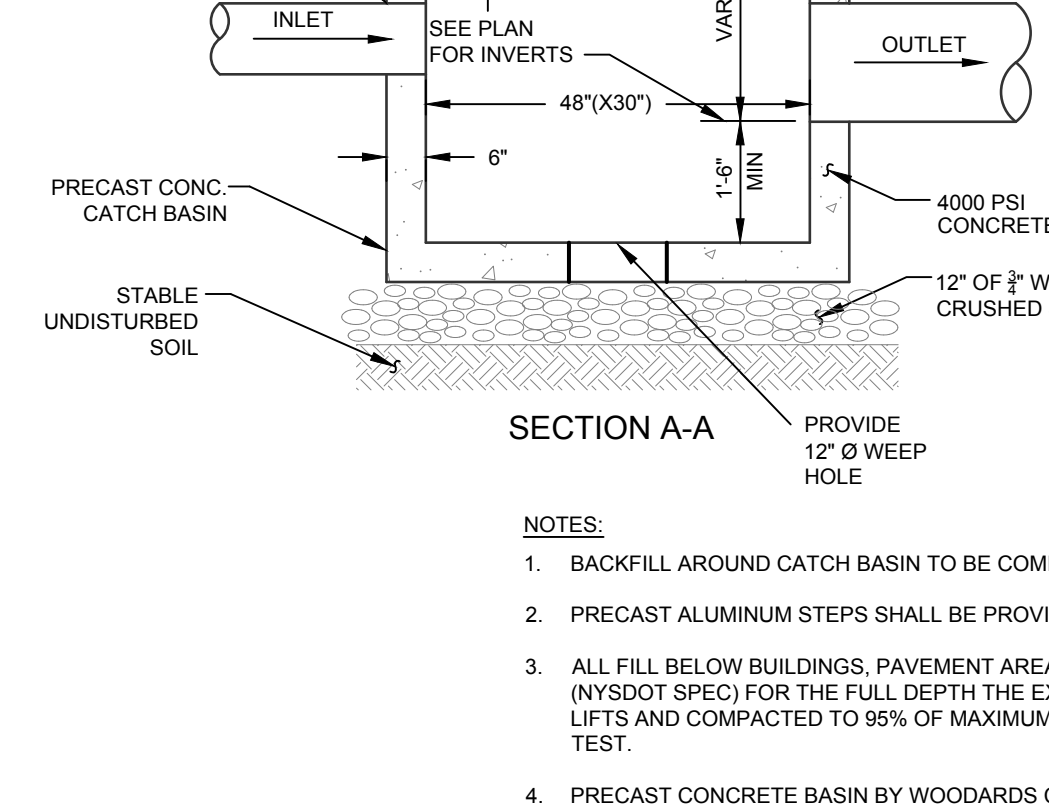
WATER SYSTEM NOTES



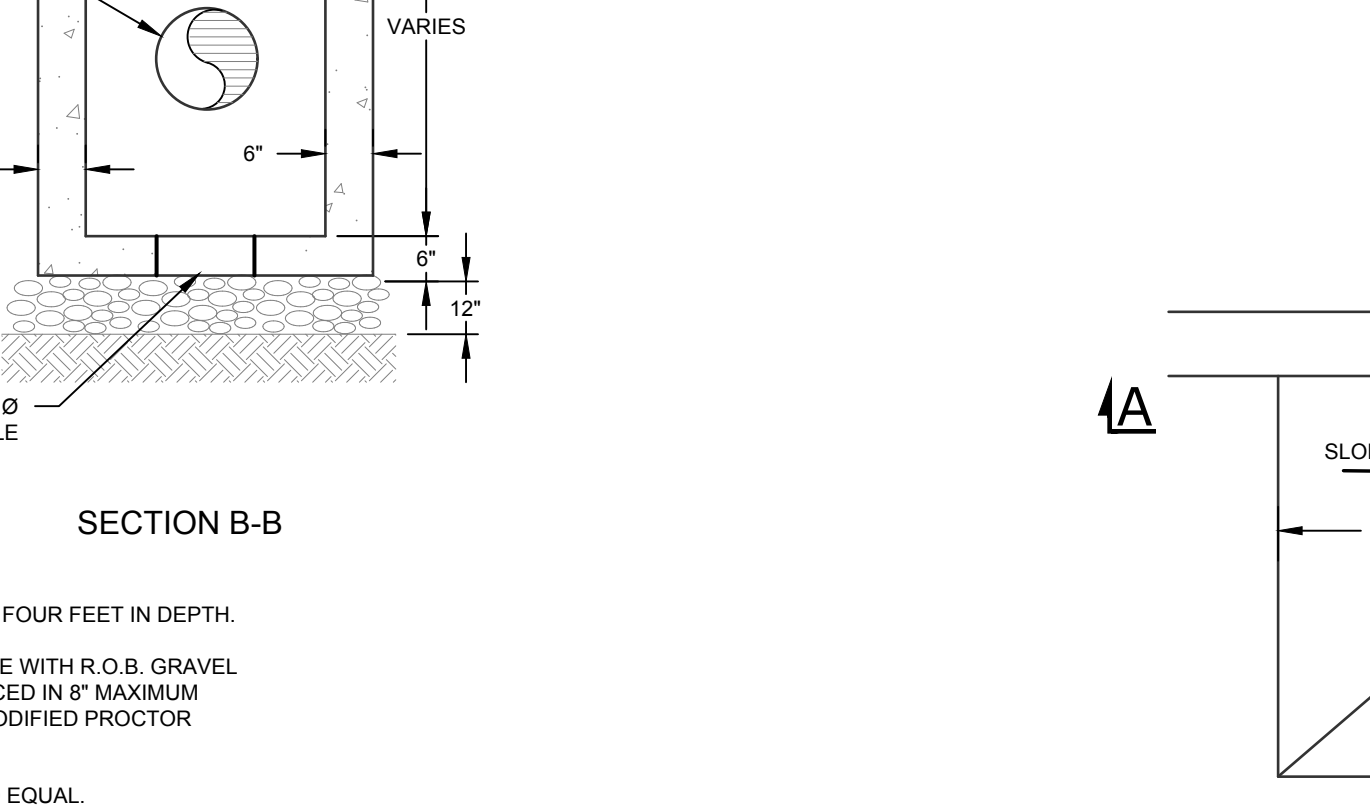
WET TAP
SCALE: NTS



HYDRANT AND HYDRANT VALVE
SCALE: NTS



CATCH BASIN
SCALE: NTS



WATER SYSTEM NOTES

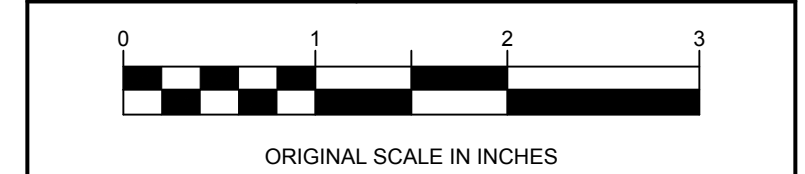
No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	03/10/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	13 OF 15
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE IDENTIFIED PLAN SET(S).

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071071



ENGINEERING PROPERTIES
Achieving Successful Results with Innovative Designs

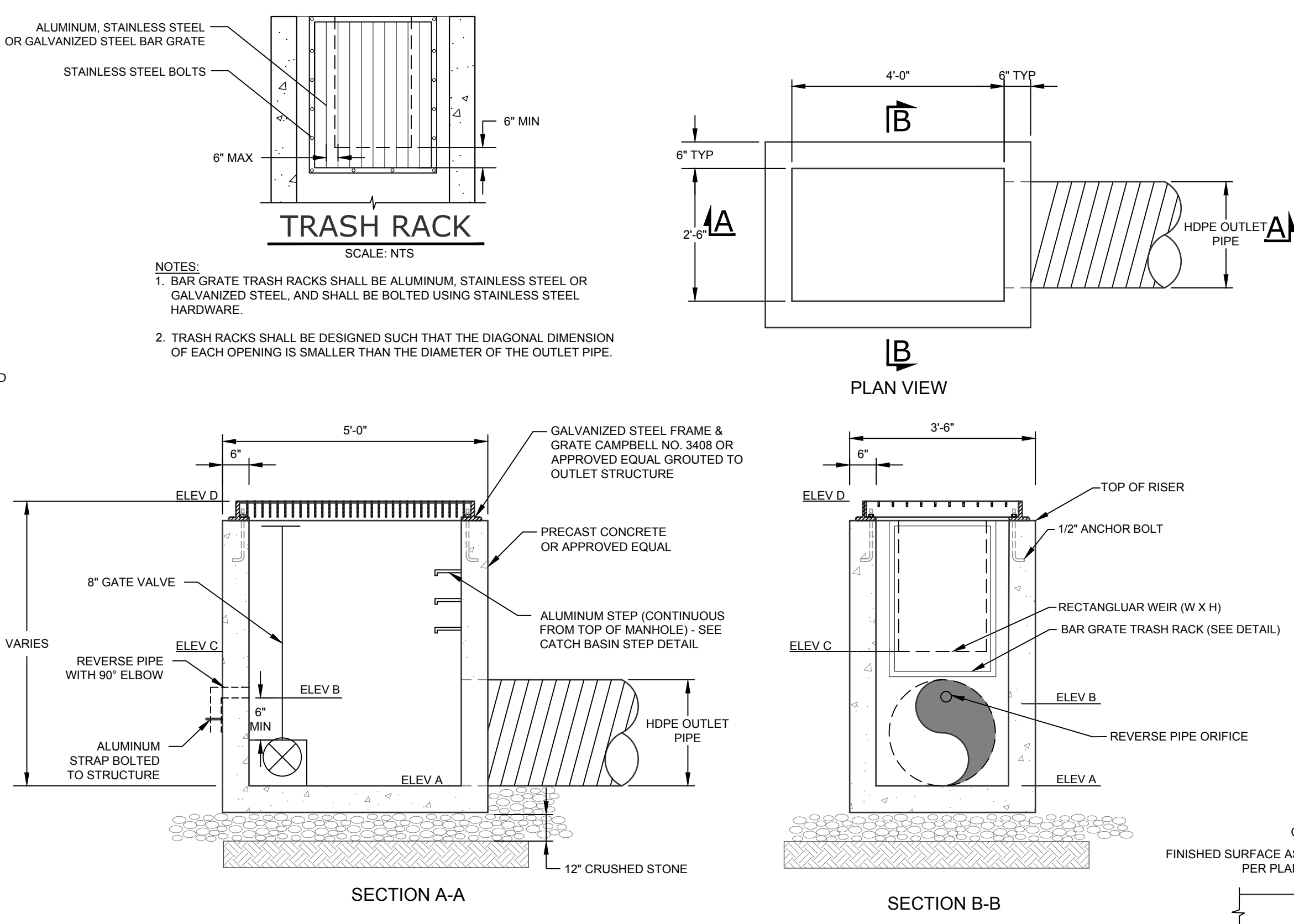
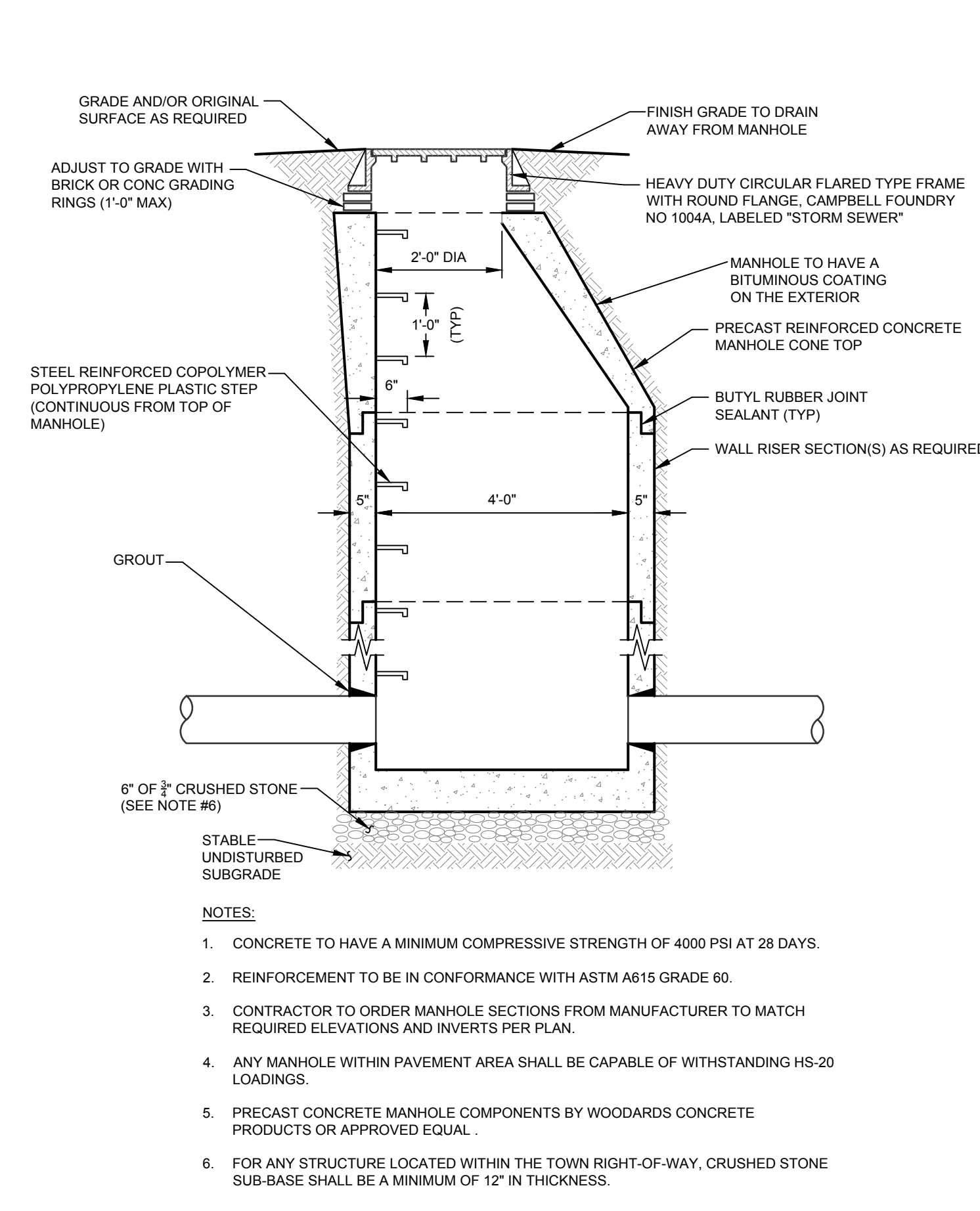
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
Fax: (845) 457-1899

DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/09/2021	SCALE:	AS NOTED
REVISION:	6 - 03/10/2023	TAX LOT:	211-1-29-22

C-301

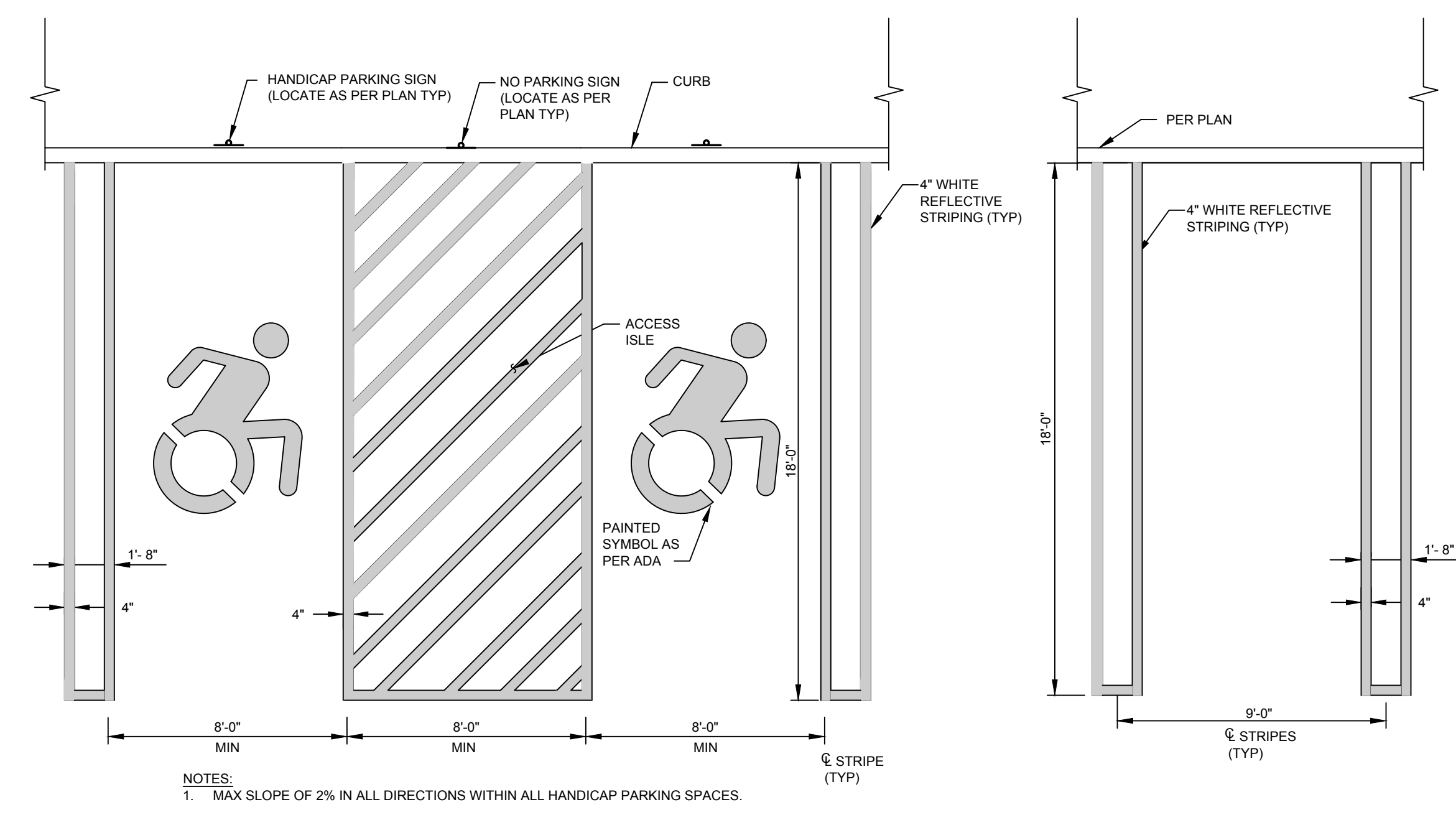
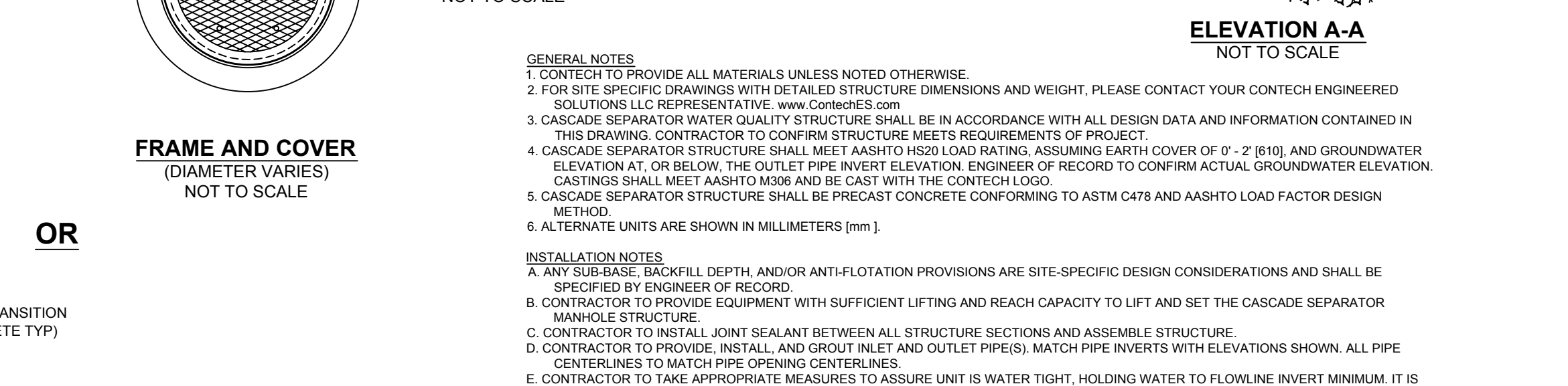
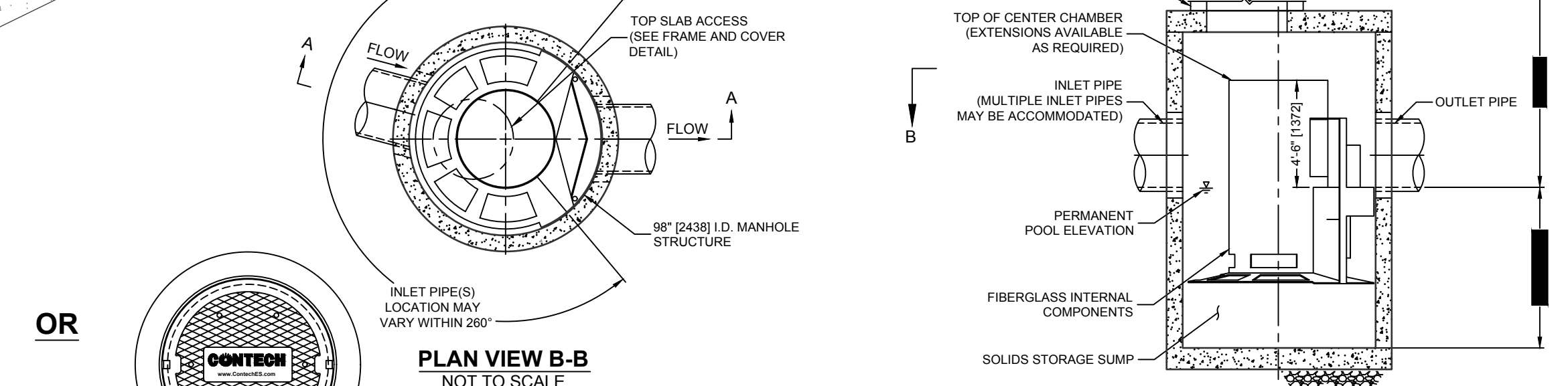
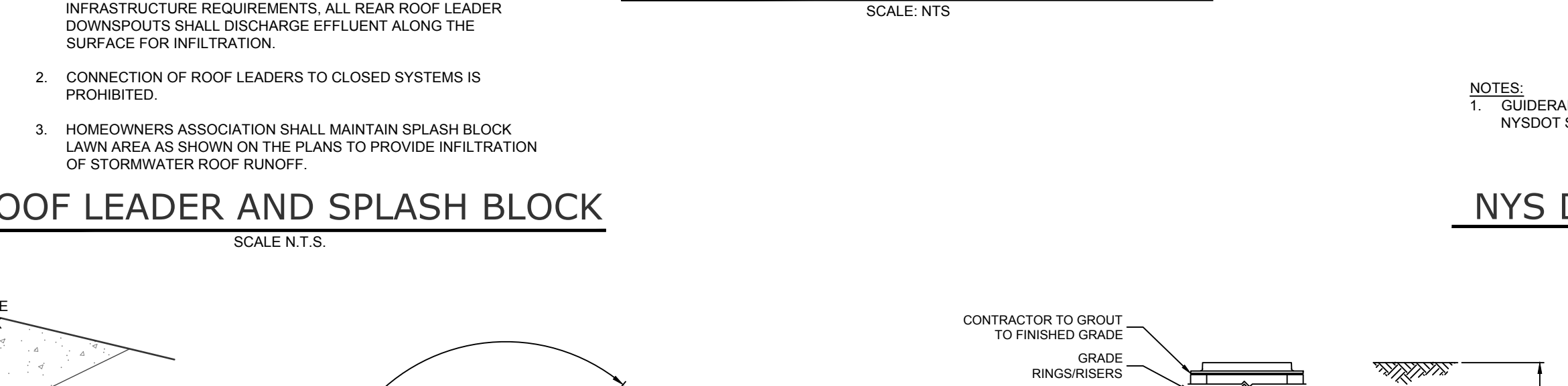
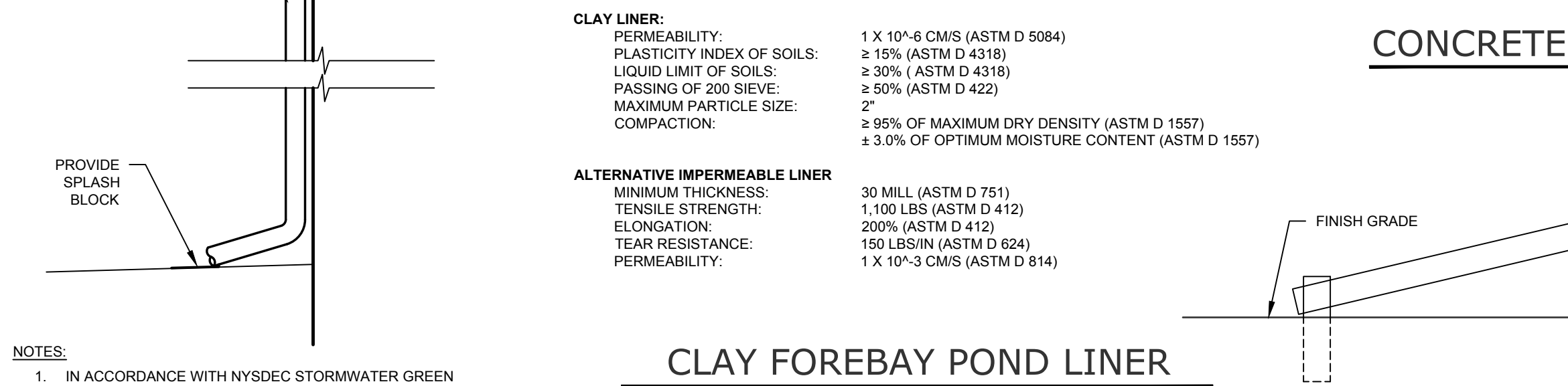
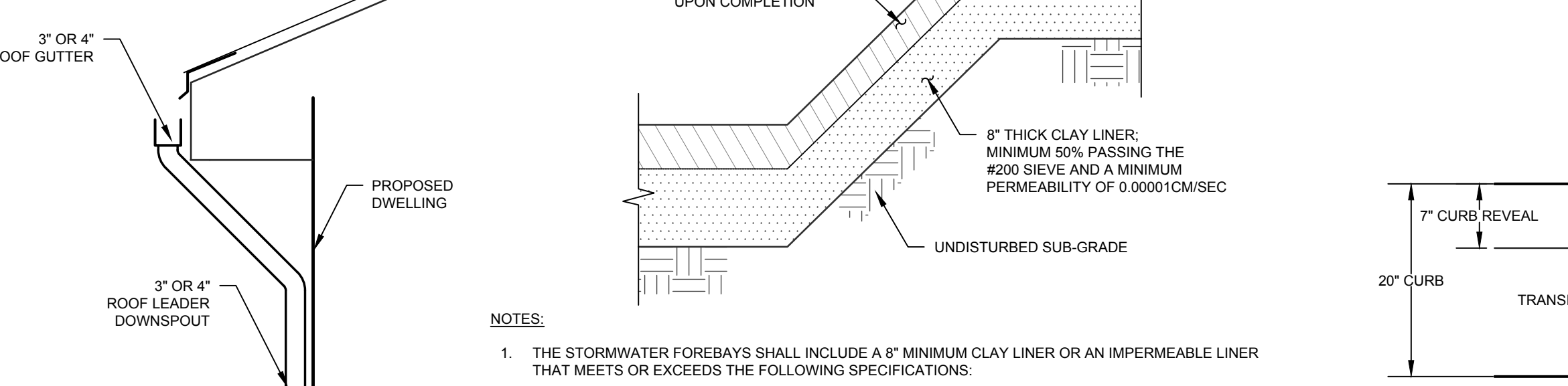
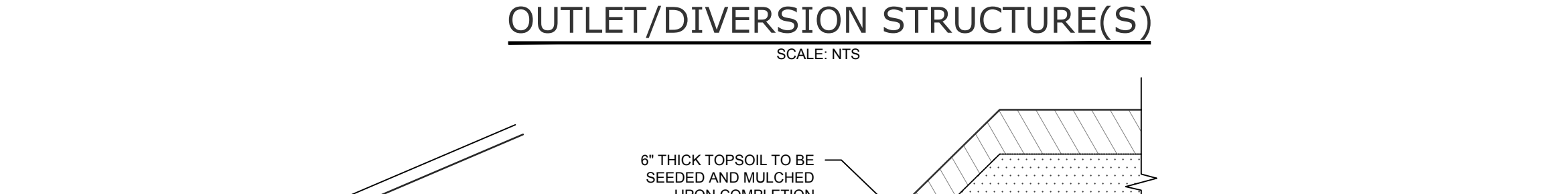


SECTION A-A

POND	CULVERT / ORIFICES	WEIR ELEV. C (18X27)	GRATE ELEV. D	SPILLWAY ELEVATION	SPILLWAY LENGTH
INFILTRATION BASIN (OS A1)	378.00 (18")	N/A	N/A	383.00	N/A
INFILTRATION BASIN (OS A2)	378.00 (18")	N/A	N/A	383.00	N/A
INFILTRATION BASIN (OS A3)	378.00 (18")	N/A	N/A	383.00	N/A
INFILTRATION BASIN (OS A4)	377.00 (18")	N/A	N/A	378.00	N/A

SECTION B-B

NOTES:
1. FOR LENGTH AND SLOPE OF OUTLET PIPE SEE PLAN.



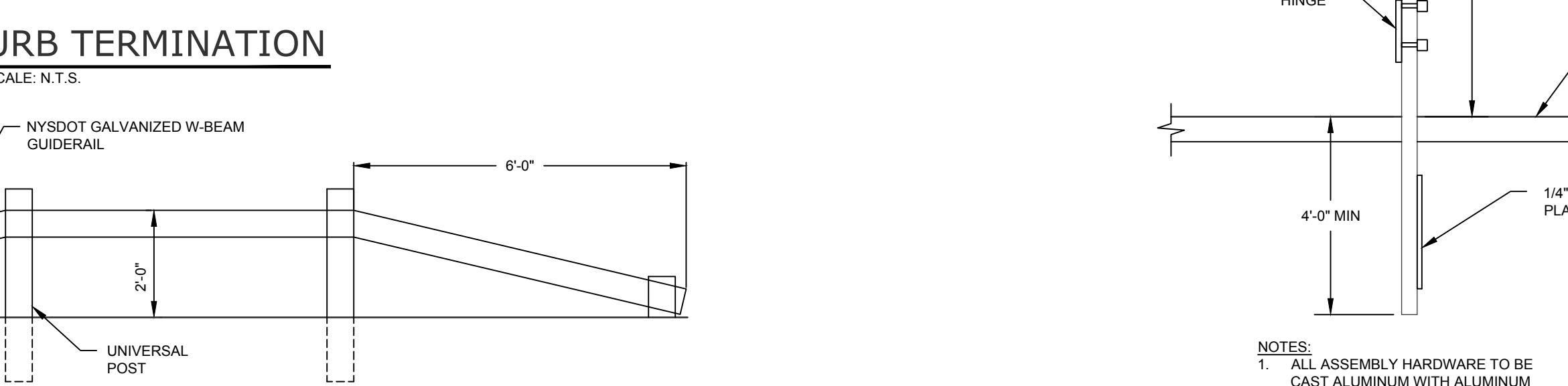
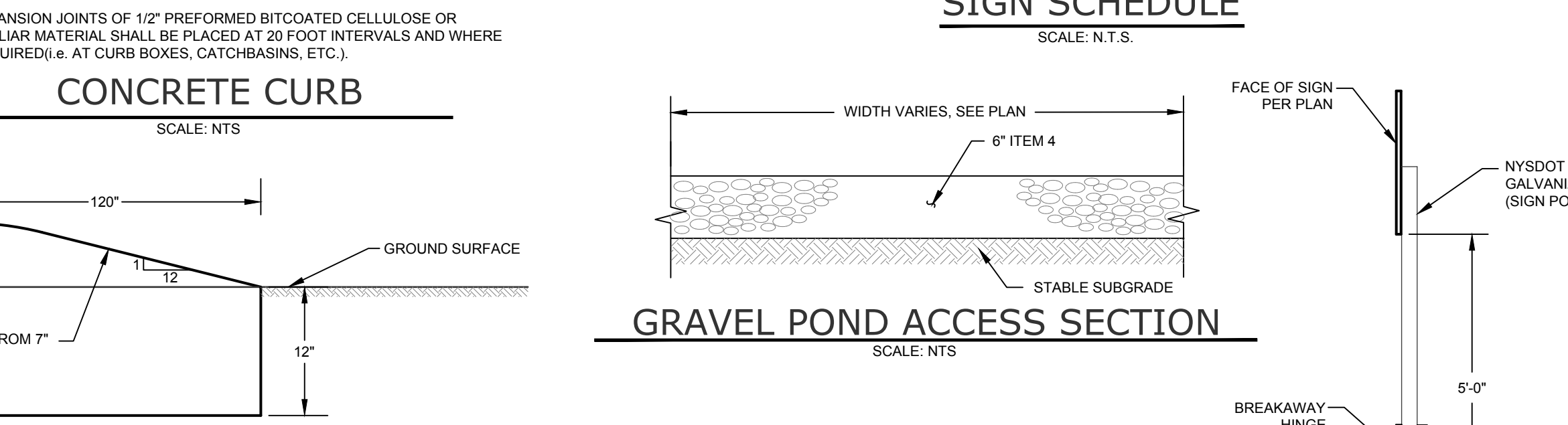
PARKING PAVEMENT SECTION
SCALE: N.T.S.

ROADWAY PAVEMENT SECTION
SCALE: N.T.S.

STOP BAR
SCALE: N.T.S.

SIGN SCHEDULE
SCALE: N.T.S.

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
NP	NO PARKING ANY TIME	P1-1C	12' x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
STOP	STOP	R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC	RESERVED PARKING	M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL, WHITE LETTERING

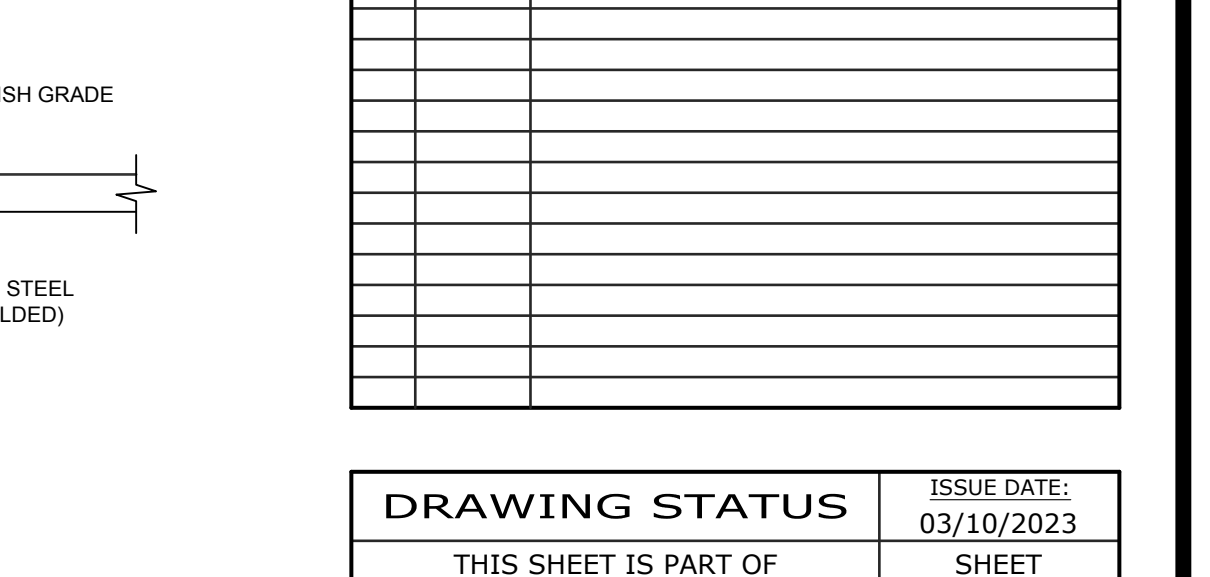
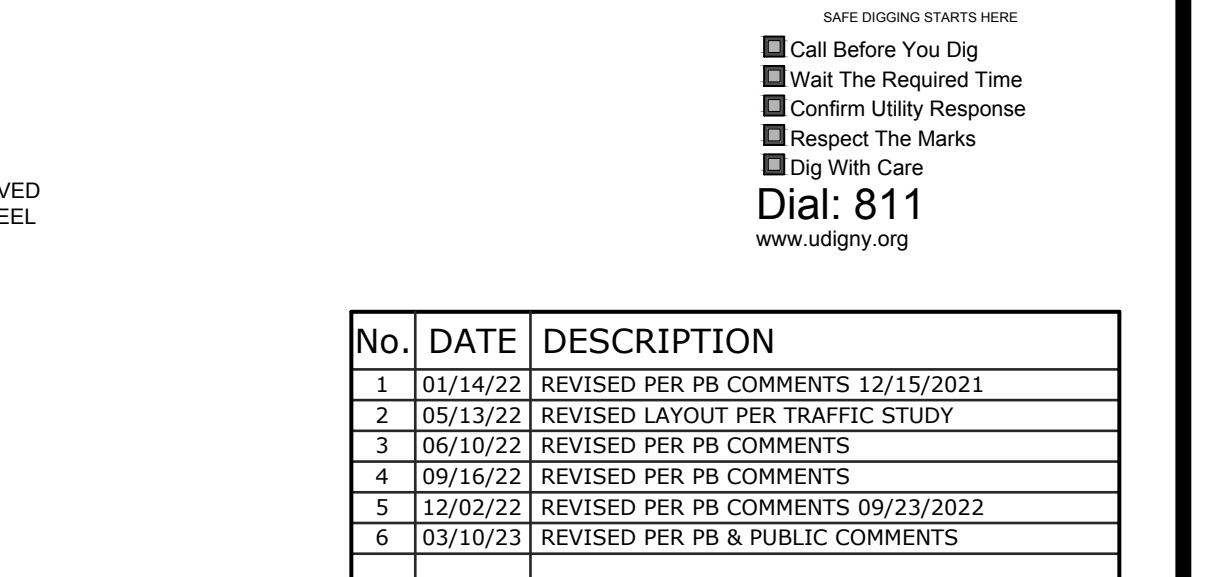
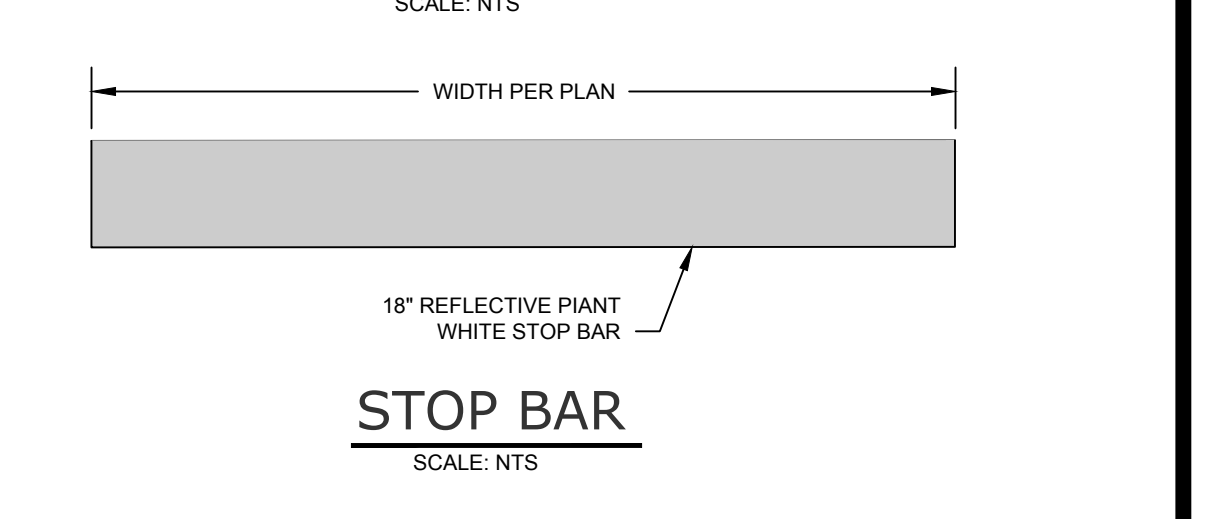
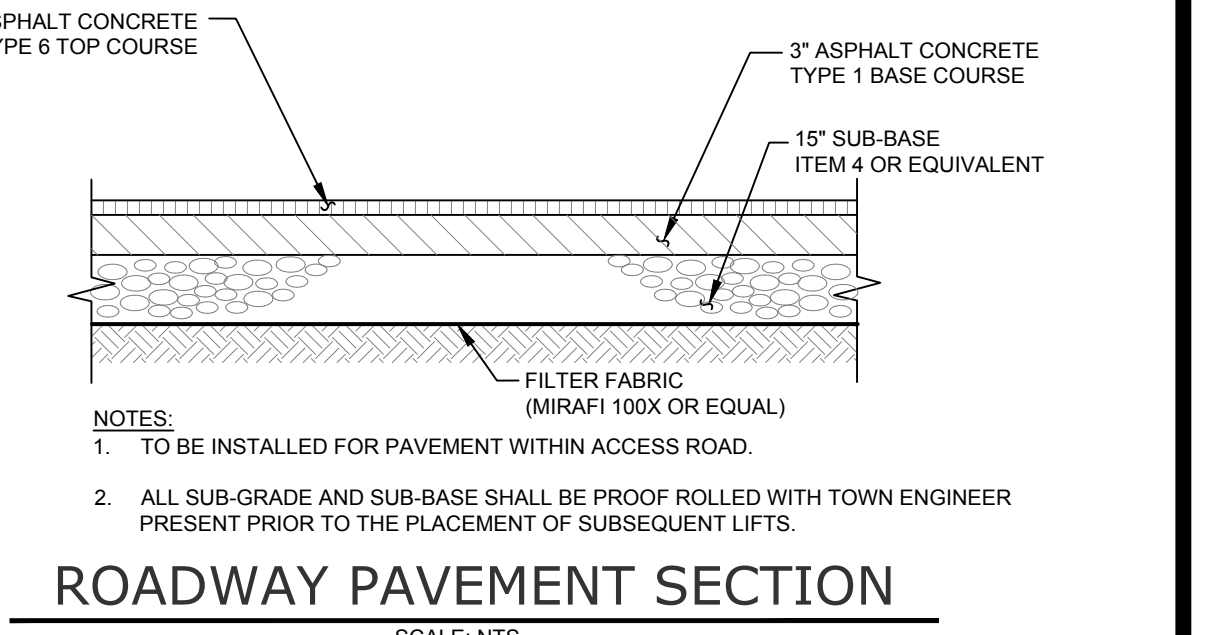
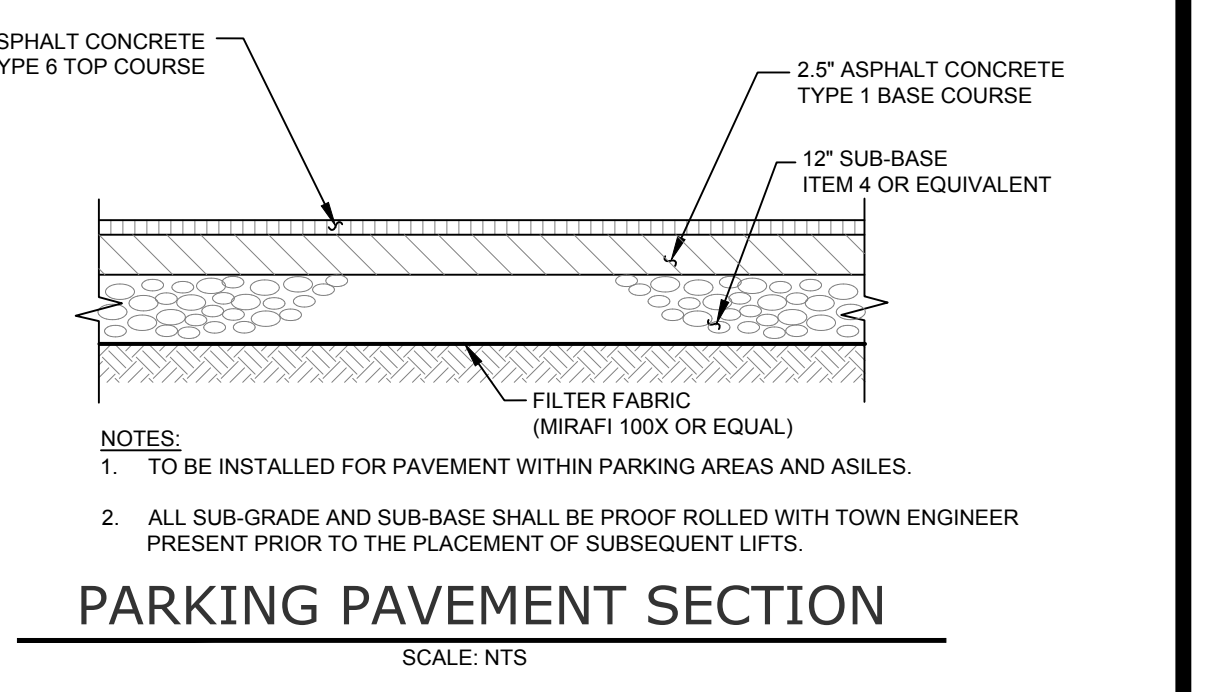


INFILTRATION TEST RESULTS

TEST HOLE #	TEST HOLE DIA.	TEST HOLE DEPTH	TIME	INFILTRATION TEST RUNS (WATER DROP IN INCHES OVER ONE HOUR)	AVERAGE DROP
12/17/21 IT-01	6"	8"	START	8:47 AM 9:38 AM 10:46 AM 11:54 AM	> 24"
			FINISH	9:38 AM 10:36 AM 11:40 AM 12:19 PM	
			DROP	>24 >24 >24 >24	
12/17/21 IT-02	2"	8"	START	9:11 AM 10:11 AM 11:11 AM 12:11 PM	15.50"
			FINISH	10:11 AM 11:11 AM 12:11 PM 1:11 PM	
			DROP	15 15 16.5 15.75	
12/17/21 IT-03	10"	8"	START	9:40 AM 10:40 AM 11:40 AM 12:40 AM	> 24"
			FINISH	10:40 AM 11:40 AM 12:40 PM 1:40 PM	
			DROP	>24 >24 >24 >24	
12/17/21 IT-04	10"	8"	START	10:15 AM 10:45 AM 11:42 AM 12:08 PM	> 24"
			FINISH	10:45 AM 11:42 AM 12:08 PM 12:14 PM	
			DROP	>24 >24 >24 >24	
12/17/21 IT-05	2"	8"	START	12:10 PM 1:10 PM 2:10 PM 3:10 PM	10.50"
			FINISH	1:10 PM 2:10 PM 3:10 PM 4:10 PM	
			DROP	12.5 10.5 10 9.5	
12/17/21 IT-06	8"	8"	START	1:05 PM 1:50 PM 2:15 PM 2:23 PM	> 24"
			FINISH	1:05 PM 1:50 PM 2:15 PM 2:23 PM	
			DROP	>24 >24 >24 >24	
12/17/21 IT-07	16"	8"	START	1:56 PM 2:11 PM 2:48 PM 3:20 PM	> 24"
			FINISH	2:11 PM 2:48 PM 3:20 PM 3:38 PM	
			DROP	>24 >24 >24 >24	
12/17/21 IT-08	16"	8"	START	2:39 PM 2:51 PM 3:22 PM 3:36 PM	> 24"
			FINISH	2:51 PM 3:32 PM 3:36 PM 3:41 PM	
			DROP	>24 >24 >24 >24	

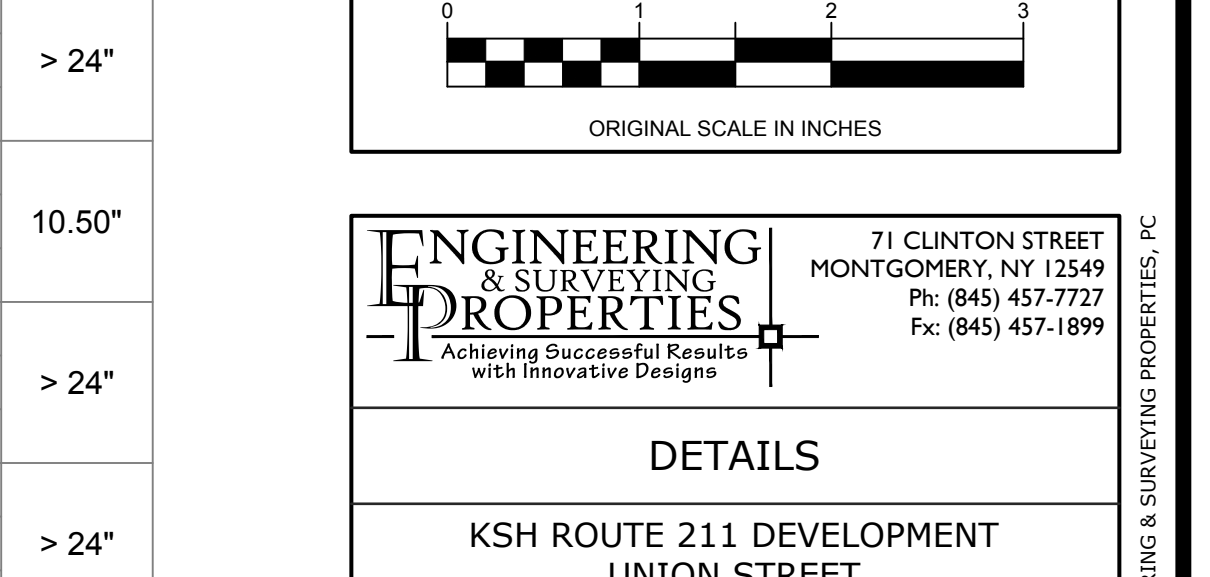
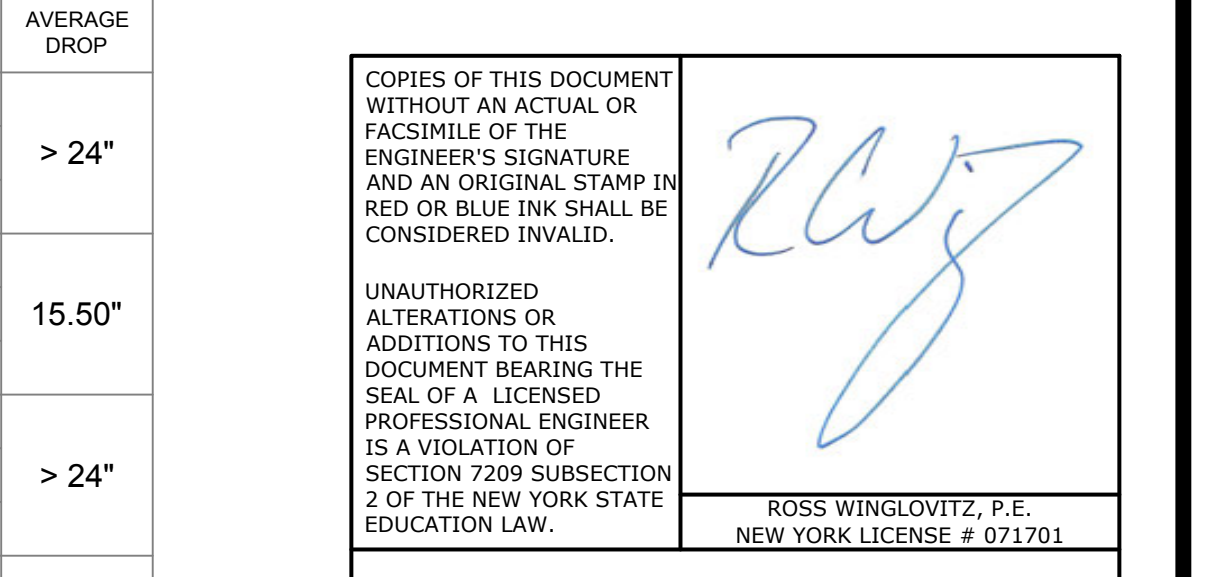
DEEP TEST HOLE RESULTS

TEST HOLE #	DATE	SURFACE ELEVATION	DEPTH	DESCRIPTION
INF 01	12/17/2022	478.91	0' - 6"	TOPSOIL
			6' - 6"	TAN SANDY LOAM
			8' - 6"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 02	12/17/2022	477.30	0' - 6"	TOPSOIL
			6' - 6"	TAN SILTY CLAY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
			8' - 12"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 03	12/17/2022	477.30	0' - 6"	TOPSOIL
			6' - 3"	TAN SILTY LOAM
			8' - 12"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 04	12/17/2022	477.30	0' - 6"	TOPSOIL
			6' - 3"	TAN SILTY LOAM
			8' - 12"	TAN SILTY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 05	12/17/2022	477.30	0' - 6"	TOPSOIL
			6' - 6"	TAN SILTY CLAY LOAM
			8' - 6"	TAN SILTY CLAY LOAM WATER AT 4". NO MOTTLING, NO ROCK
INF 06	12/17/2022	477.30	0' - 6"	TOPSOIL
			6' - 4"	TAN SILTY CLAY LOAM
			8' - 11"	TAN SILTY CLAY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 07	12/17/2022	477.30	0' - 4"	TOPSOIL
			4' - 3"	TAN SILTY CLAY LOAM
			8' - 18"	BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK
INF 08	12/17/2022	477.30	0' - 6"	TOPSOIL
			6' - 3"	TAN SILTY CLAY LOAM
			8' - 18"	BROWN SANDY LOAM WITH GRAVEL NO WATER, NO MOTTLING, NO ROCK



DRAWING STATUS

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	ISSUE DATE: 03/10/2023	SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	14	OF 15
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A



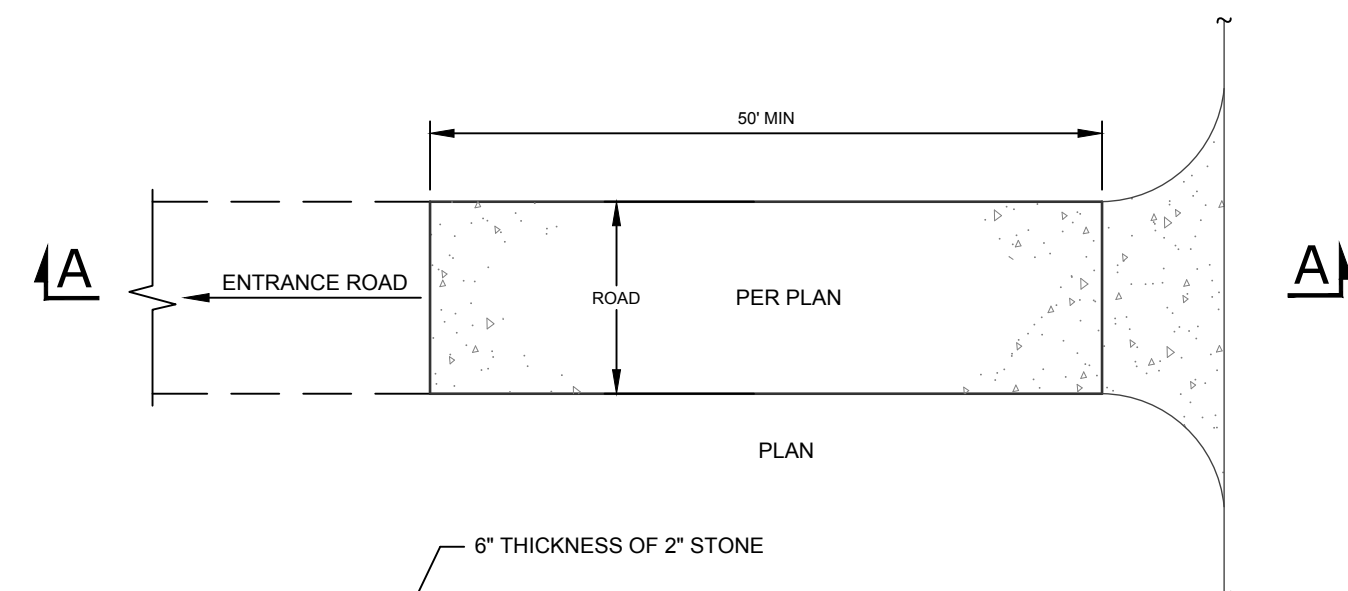
ENGINEERING PROPERTIES
Achieving Successful Results with Innovative Designs

71 CLINTON STREET
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DETAILS
KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

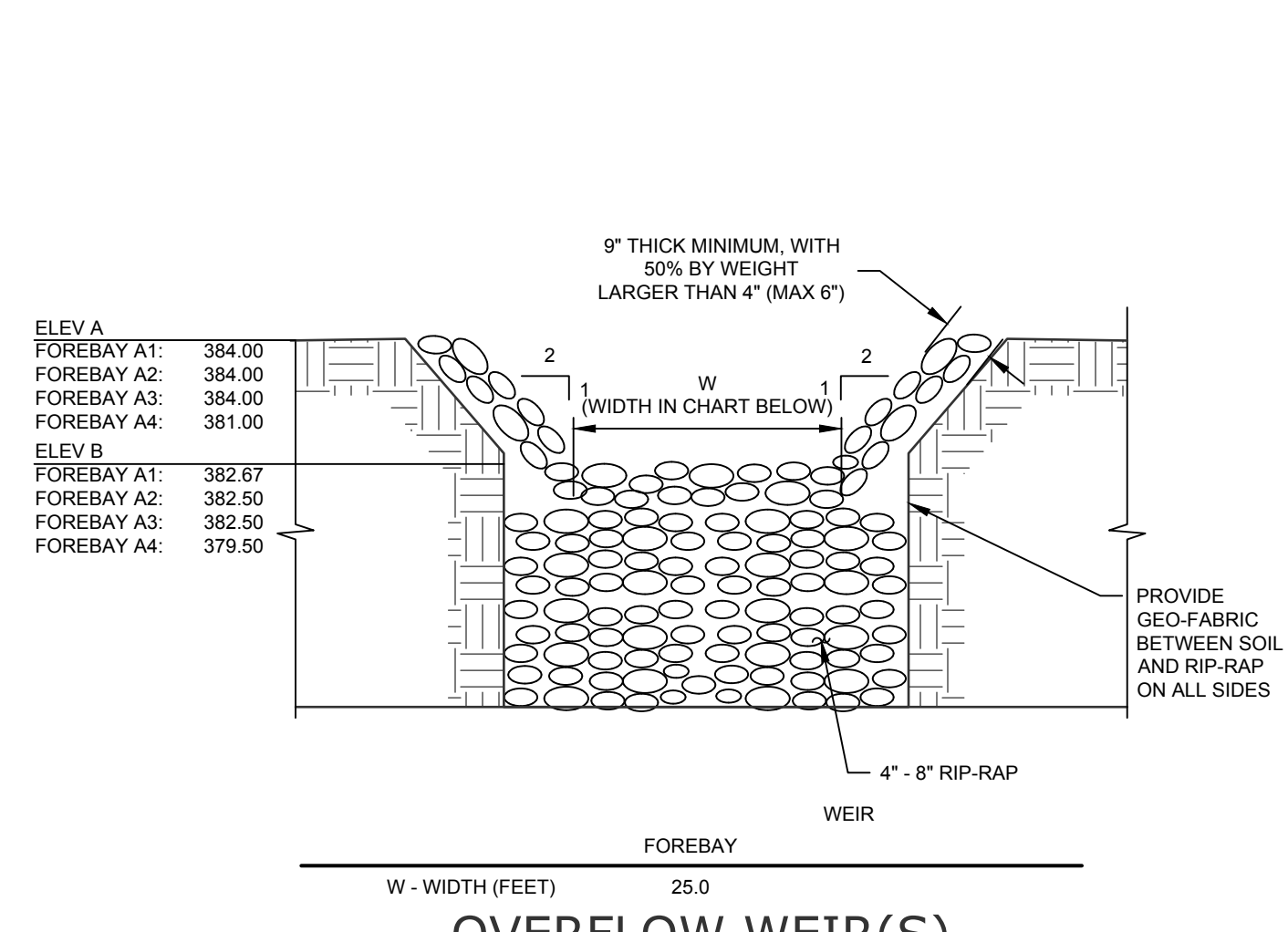
DATE: 12/09/2021 SCALE: AS NOTED
REVISION: 6 - 03/10/2023 TAX LOT: 211-1-29-22

C-302

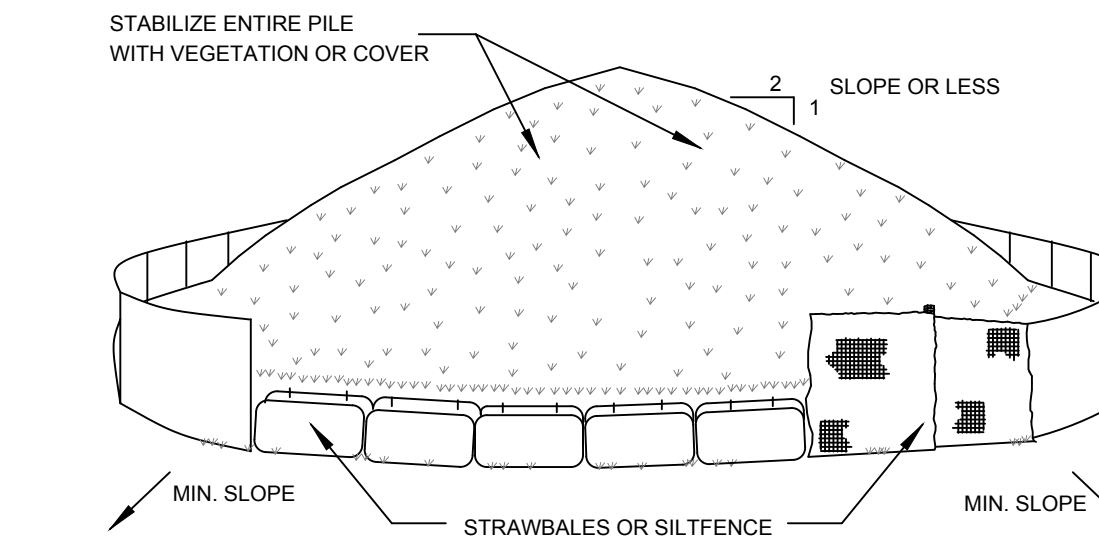


- NOTES:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 1:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS

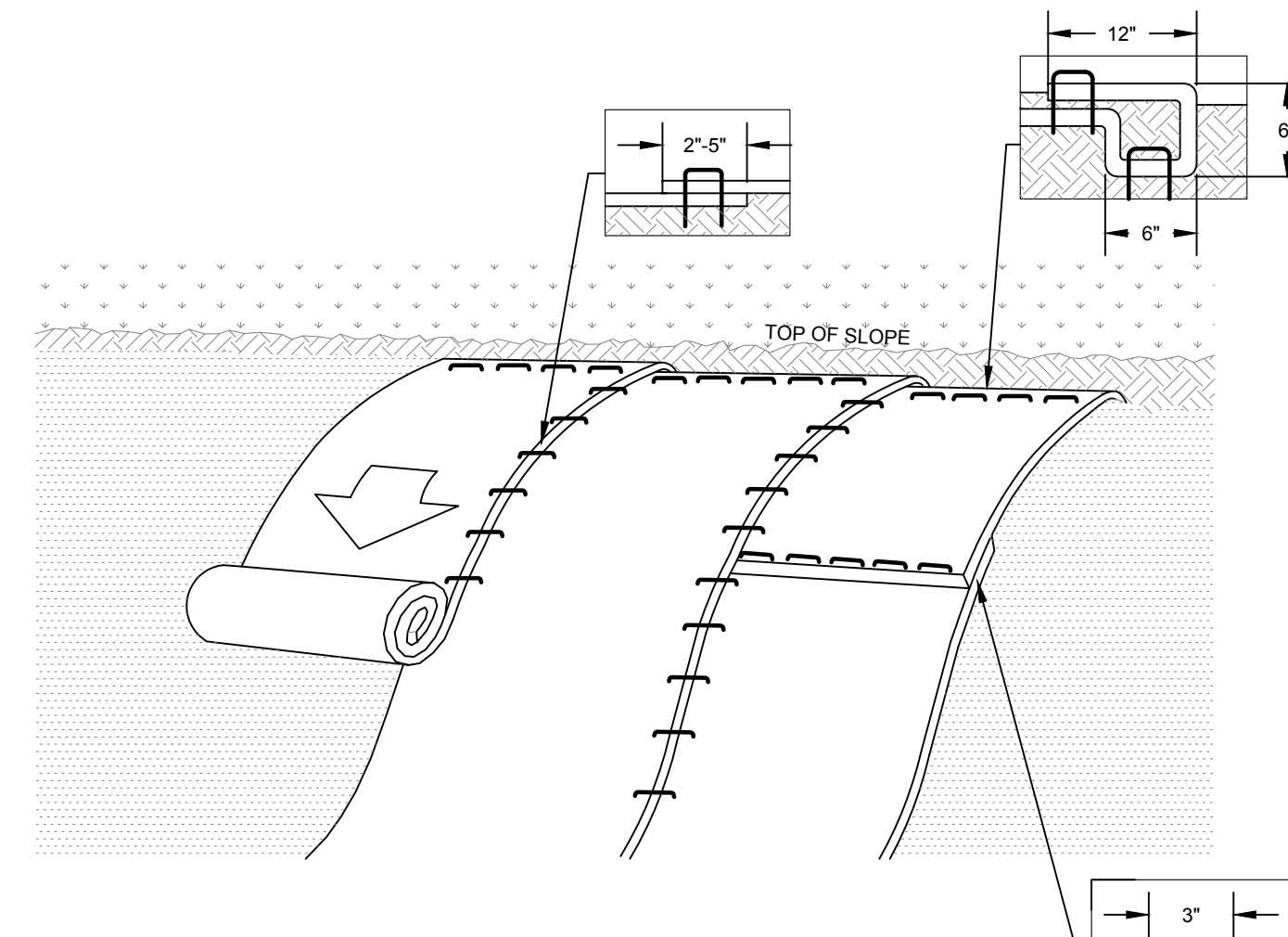


OVERFLOW WEIR(S)
SCALE: NTS



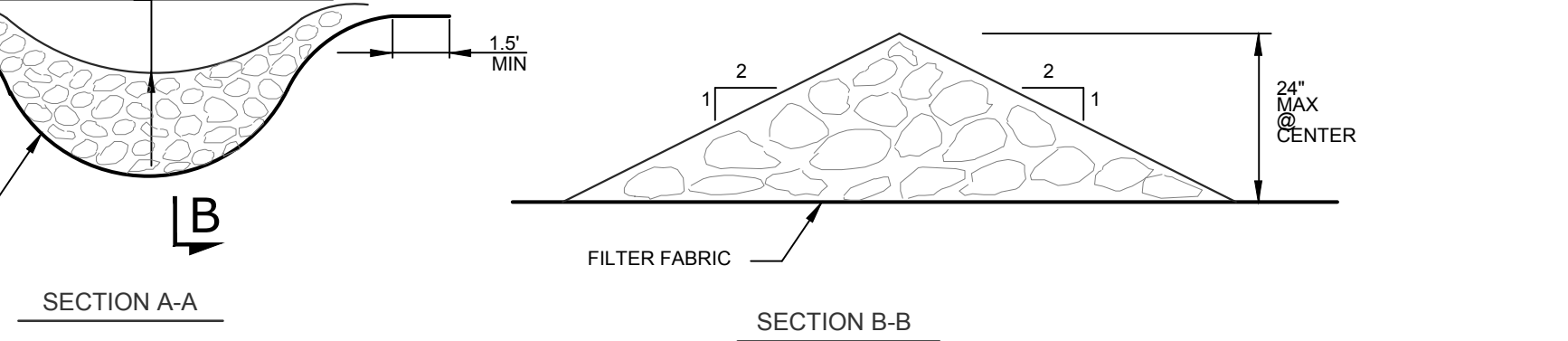
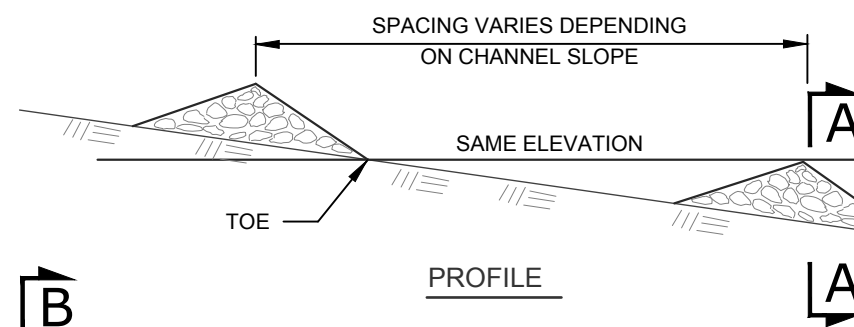
- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCINGS OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILING
SCALE: NTS



- NOTES:**
- ROLLED EROSION CONTROL PRODUCT (RECP'S) SHALL BE USED ON ALL CONSTRUCTED SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL.
 - PREPARATION OF THE SOIL INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY RECP'S.
 - INSTALL RECP - NORTH AMERICAN GREEN BIOMET S1508H OR APPROVED EQUAL. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 1/2" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 1/2" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACE APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
 - ROLL THE RECP'S DOWN THE SLOPE OR HORIZONTALLY ACROSS THE SLOPE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE PRODUCTS STAPLE PATTERN GUIDE.
 - THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" TO 5" OVERLAP DEPENDING ON RECP'S TYPE.
 - CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE RECP'S WIDTH.

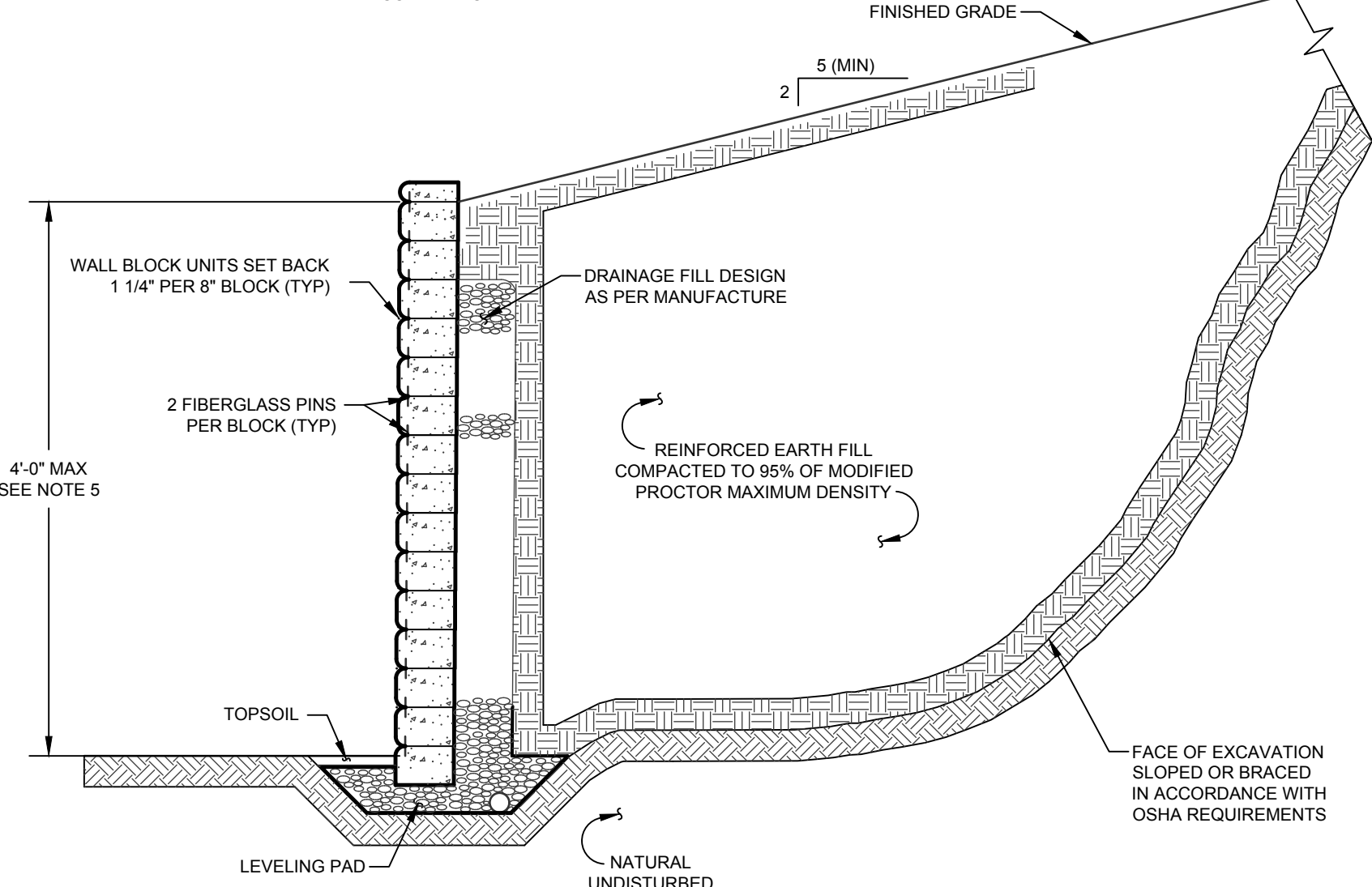
SLOPE STABILIZATION (ROLLED EROSION CONTROL PRODUCT)
SCALE: NTS



CONSTRUCTION SPECIFICATIONS:

- STONE SHALL BE MAXIMUM SIZE OF 12" WITH 50 TO 100 PERCENT BY WEIGHT LARGER THAN 6" AND 0 TO 10 PERCENT SMALLER THAN 1/2".
- FILTER FABRIC SHALL BE POLY-FILTER X CLOTH AS MANUFACTURED BY CARTHAGE MILLS.
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION AT LOCATIONS SHOWN ON THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

STONE CHECK DAM
SCALE: NTS



- NOTES:**
- PROPOSED KEYSTONE KS HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
 - FENCING SHALL BE INSTALLED FOR AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - COLORS TO MATCH FOUNDATION STONE.
 - FOR WALLS OVER HEIGHTS OF 4'-0" SEE SPECIFIC ENGINEERED WALL DETAILS AS PREPARED BY OTHERS.
 - PRIOR TO CONSTRUCTION, DESIGN OF RETAINING WALLS SHALL BE PREPARED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER AND BE SUBMITTED TO THE VILLAGE OF MONTGOMERY BUILDING INSPECTOR / ENGINEER FOR REVIEW AND APPROVAL.

TYPICAL MSE RETAINING WALL
SCALE: NTS

EROSION AND SEDIMENTATION CONTROL NOTES

- SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
- ORANGE CONSTRUCTION FENCE LOCATIONS SHALL BE STAKED BY A SURVEYOR AND INSTALLATION SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO ANY LAND DISTURBANCE WITHIN 125 FEET OF AN EXISTING WETLAND AND AREAS WHERE TREES AND STONE WALLS ARE TO BE PRESERVED. ALL ORANGE CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT SENSITIVE AREAS. THE ORANGE CONSTRUCTION FENCING WILL BE REMOVED UPON FINAL STABILIZATION OF ALL AREAS WITHIN 125 FEET OF FENCINGS.
- TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND/OR STRAW BALE DIKES, DRAINAGE STRUCTURES, AND RIP-RAP PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SEED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
 - AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
 - LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
 - FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
 - DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. PREFERNIAL (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS. CERTIFIED BROODSTOCK WINTER FESCUE (PERENNIAL) PER ACRE.
 - PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE: 8 LBS. EMPIRE BIRDFOOT TRECLO (COMMON WHITE CLOVER PER ACRE PLUS 20 LBS TALL FESCUE PER ACRE PLUS 2 LBS REDTOP OR 3 LBS RYEGRASS (PERENNIAL) PER ACRE.
 - ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
- ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER. TRUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
- TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
- ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
- SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
- MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

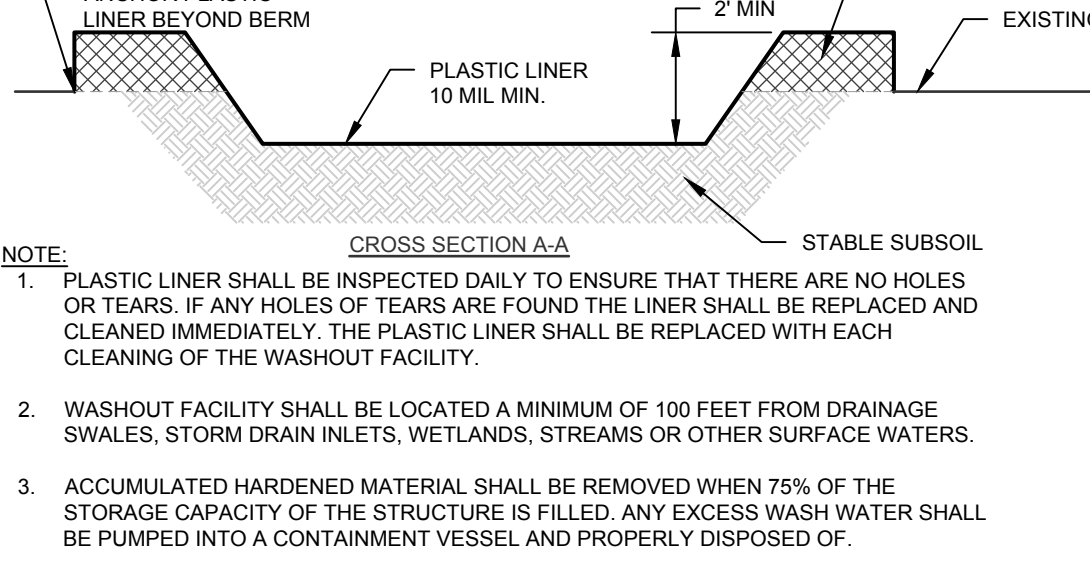
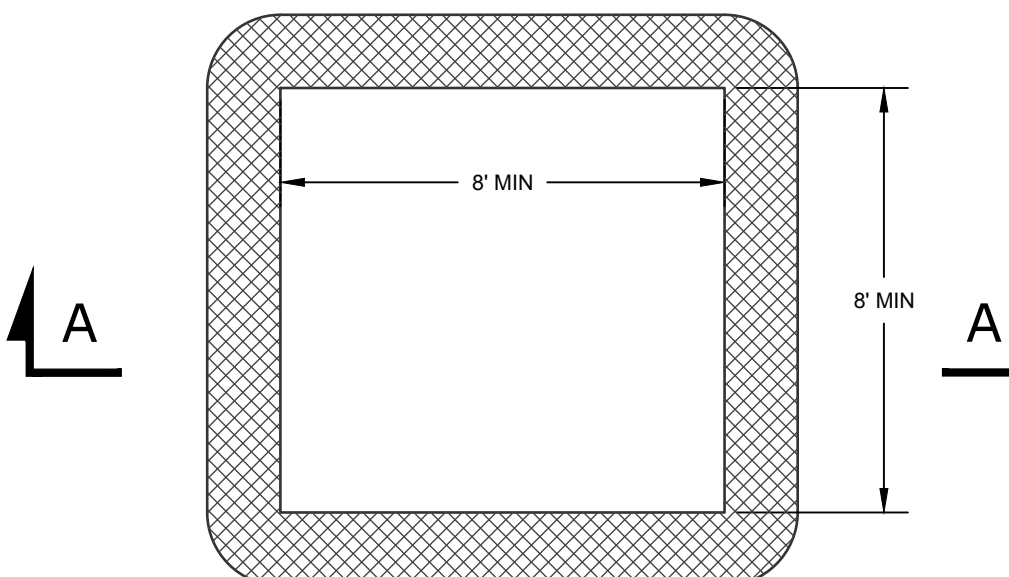
MATERIAL	Lbs/Acre
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25
- OPTIMUM SEEDING PERIODS ARE 3/15-6/1 AND 8/1-10/15.

EARTHWORK CONSTRUCTION NOTES

- ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE VILLAGE OF MONTGOMERY.
- ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
- ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CELLAR, ROOF AND FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
- COMPLETION OF GRADING AND BASIN, BERMS AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED 'SEDIMENTATION EROSION CONTROL'.
- ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 3H:1V SLOPE SIDES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYER OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH 'EROSION AND SEDIMENTATION CONTROL NOTES'.
- ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
- SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
 - ROCK-PICK UNTIL UNLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 8 INCHES.
 - VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

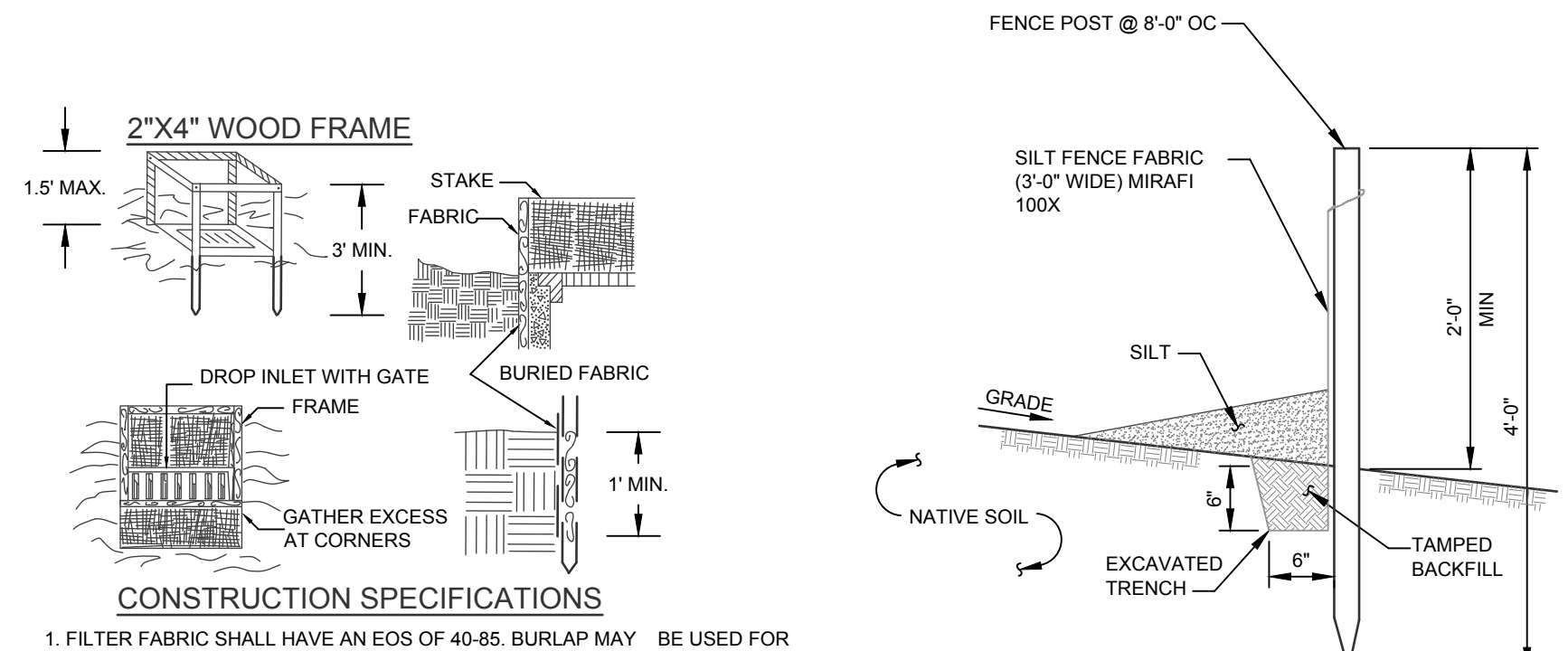
SEQUENCE OF CONSTRUCTION ACTIVITY

- PRE-CONSTRUCTION MEETING ONE WEEK BEFORE CONSTRUCTION, SITE DISTURBANCE OR EQUIPMENT STAGING ACTIVITIES AN EVALUATION OF THE SITE WILL BE PERFORMED WITH VILLAGE PERSONNEL, VILLAGE ENGINEER, SITE DESIGN ENGINEER, CONTRACTOR TO DISCUSS GENERAL CONSTRUCTION PROCEDURES AND SEQUENCING. DURING THIS MEETING SENSITIVE AREAS OF THE PROPERTY SHALL BE DELINEATED AND MARKED OUT WITH ORANGE CONSTRUCTION FENCE (I.E. TREES, WETLANDS, WELLS).
- CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWN HILL OF PROPOSED CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND STABILIZE CONSTRUCTION ROADS. INSTALL TEMPORARY SEDIMENT TRAP. INSTALL PERMANENT/TEMPORARY GRASSES SWALES.
- CLEARING AND GRUBBING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
- ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABILIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABILIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
- ROADBUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF ROADWAYS, BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. INSTALL DRAINAGE INLET AND OUTLET PROTECTION AS EACH INLET/OUTLET IS CONSTRUCTED. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
- FINAL GRADING AND LANDSCAPING: REMOVE TEMPORARY SEDIMENT TRAPS AND INSTALL PERMANENT WATER QUALITY QUANTITY FACILITIES. COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
- POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE, REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.



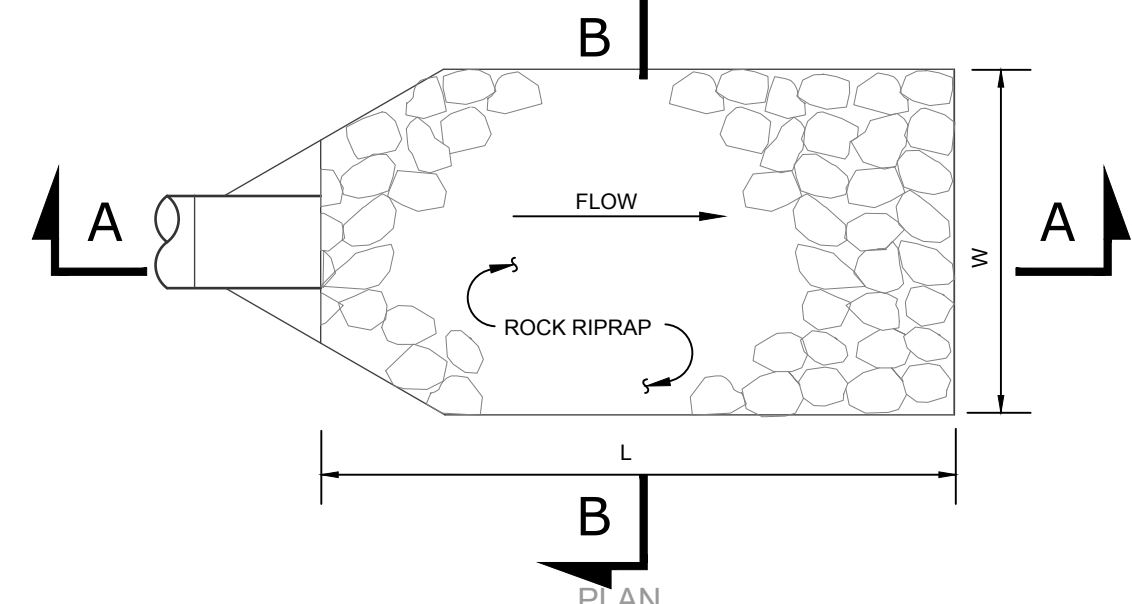
- NOTE:**
- PLASTIC LINER SHALL BE INSPECTED DAILY TO ENSURE THAT THERE ARE NO HOLES OR TEARS. IF ANY HOLES OR TEARS ARE FOUND THE LINER SHALL BE REPLACED AND CLEANED IMMEDIATELY. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 - WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS OR OTHER SURFACE WATERS.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED, ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF.
 - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION

CONCRETE WASHOUT
SCALE: NTS



- NOTES:**
- SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.

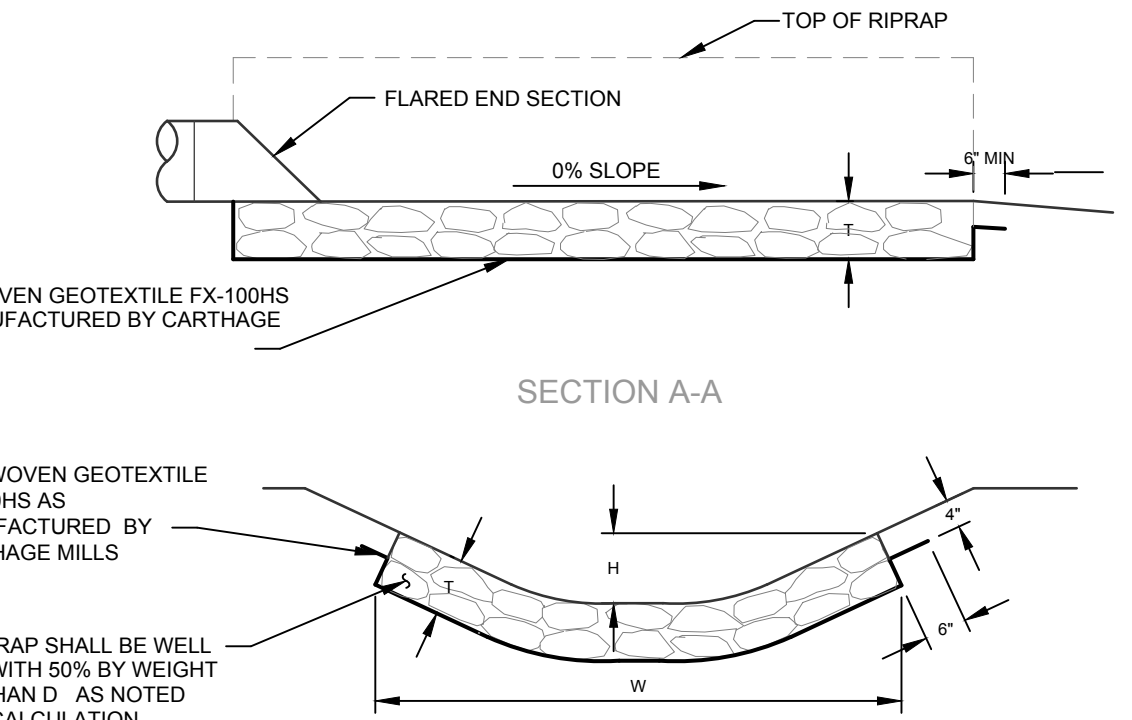
SILT FENCE
SCALE: NTS



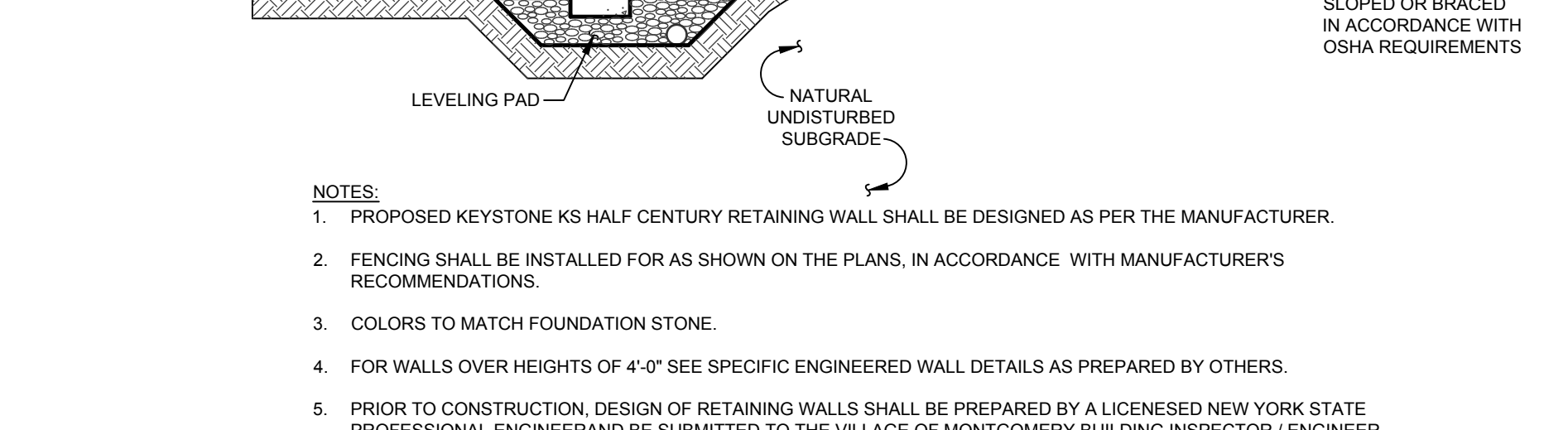
FILTER FABRIC DROP INLET PROTECTION
NOT TO SCALE

OUTLET PROTECTION SIZING CALCULATIONS

END SECTION	D ₁₀ (in)	Q _{max} (cfs)	V _{max} (ft/s)	D ₅₀ (in)	D _{max} (in)	L (ft)	W (ft)	T (in)	H (in)
FES A2	18	21.3	12.1	9	13	20	21.5	18	18
FES A4	18	15.1	8.5	6	9	14	15.5	18	18
FES 4	24	29.6	9.4	7	11	18	20	24	24
FES 11	15	8.4	6.8	5	8	10	11.25	15	15
FES 18	24	87.2	27.8	18	27	32	34	24	24
FES 23	24	38.9	12.4	10	15	22	24	24	24
FES 31	24	29.6	9.4	8	11	18	20	24	24
FES 38	24	29.7	9.5	8	11	18	20	24	24
FES 47	18	34.9	10.7	14	20	23	24.5	18	18



FES OUTLET PROTECTION
SCALE: NTS



No. DATE DESCRIPTION

1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER	ISSUE DATE: 03/10/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	15	OF 15
<input type="checkbox"/> OCCDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCCDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/09/2021 SCALE: AS NOTED
REVISION: 6 - 03/10/2023 TAX LOT: 211-1-29-22
C-303