

# BULK REQUIREMENTS

VILLAGE OF MONTGOMERY - ZO PROPOSED USE: WAREHOUSE		T I-1 & I-2
MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	40,000 SF	± 1,475,464 SF
LOT WIDTH	150 FEET	869.1 FEET
FRONT YARD ABUTTING RESIDENTIAL *	120 FEET	329.2 FEET
REAR YARD	50 FEET	59.1 FEET
SIDE YARD (ONE / BOTH)	30 / 60 FEET	86.0 / 419.5 FEET
SIDE YARD ABUTTING RESIDENTIAL *	100 FEET	333.5 FEET
MAXIMUM ALLOWABLE		
BUILDING HEIGHT	35 FT	45 FT **
LOT COVERAGE (BUILDINGS)	30 %	19.0 %

### PARKING CALCULATIONS

A	R PARKING SPACE REQUIREMENTS:
	REQUIRED: WAREHOUSE : 1 SPACE PER 2,000 SQ.FT. OF FLOOR AREA OFFICE: 1 SPACE PER 200 SQ.FT. OF FLOOR AREA
	PARKING CALCULATIONS FOR WAREHOUSE USE TOTAL WAREHOUSE FLOOR AREA: 268,000 SQ.FT. 268,000 SQ. FT. X ( $\frac{1 \text{ SPACE}}{2,000 \text{ SQ.FT.}}$ ) = 134 SPACES
	PARKING CALCULATIONS FOR OFFICE USE TOTAL OFFICE FLOOR AREA: 12,000 SQ.FT. 12,000 SQ.FT. X ( $\frac{1.SPACE}{200 SQ.FT}$ ) = 60 SPACES
	<u>COMBINED PARKING REQUIREMENTS</u> TOTAL SPACES REQUIRED FOR SITE: 134 + 60 = 194 SPACES TOTAL SPACES PROVIDED: 266 SPACES
R	UCK LOADING SPACE REQUIREMENTS:
	REQUIRED: 2 SPACES FOR THE FIRST 40,000 SQ.FT. AND 1 ADDITIONAL SPACE PER EACH ADDITIONAL 40,000 SQ.FT. OF FLOOR AREA
	BUILDING 1: 60,000 SQ.FT. (40,000 SQ.FT X ( <u>2 SPACES</u> )) + (20,000 SQ.FT. X ( <u>1 SPACE</u> ) = 2.5 SPACES TRUCK SPACES REQUIRED: 3

BUILDING 2: 60,000 SQ.FT. (40,000 SQ.FT X (<u>2SPACES</u>)) + (20,000 SQ.FT. X (<u>1SPACE</u>) = 2.5 SPACES TRUCK SPACES REQUIRED: 3 TRUCK SPACES PROVIDED: 6

BUILDING 3: 80,000 SQ.FT. (40,000 SQ.FT X (<u>2 SPACES</u>)) + (40,000 SQ.FT. X (<u>1 SPACE</u>) = 3 SPACES TRUCK SPACES REQUIRED: 3 TRUCK SPACES PROVIDED: 8

BUILDING 4: 80,000 SQ.FT.

(40,000 SQ.FT X (<u>2 SPACES</u>)) + (40,000 SQ.FT. X (<u>1 SPACE</u>) = 3 SPACES TRUCK SPACES REQUIRED: 3 TRUCK SPACES PROVIDED: 8

## LIST OF DRAWINGS

SHEET #

- DRAWING # TITLE O-100 OVERALL PLAN C-101 SITE PLAN C-102 SITE PLAN C-103 GRADING, DRAINAGE & UTILITY PLAN C-104 GRADING, DRAINAGE & UTILITY PLAN C-105 PHASING PLAN C-106 EROSION & SEDIMENT CONTROL PLAN C-107 EROSION & SEDIMENT CONTROL PLAN C-108 LIGHTING PLAN C-109 LIGHTING PLAN
- C-110 LANDSCAPE PLAN AND DETAILS C-111 LANDSCAPE PLAN AND DETAILS
- C-301 DETAILS
- C-302 DETAILS C-303 DETAILS

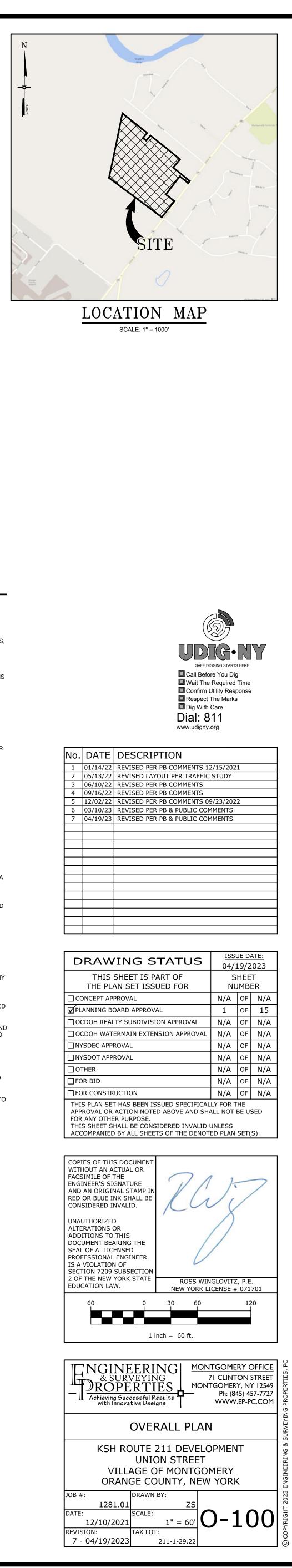
## GENERAL NOTES

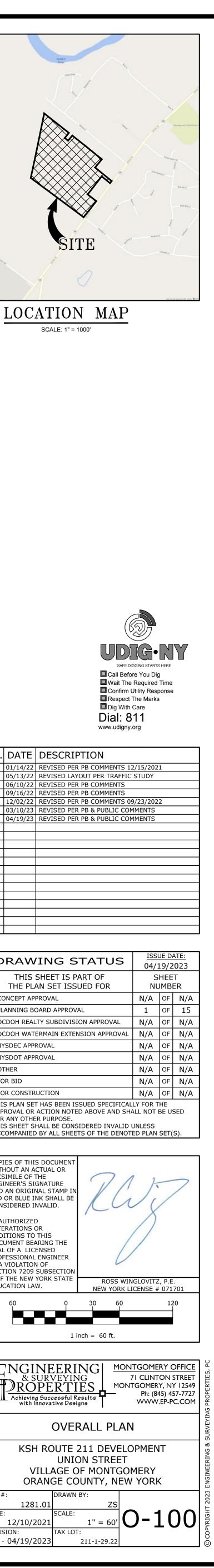
- 1. TAX MAP IDENTIFICATION NUMBER: SECTION 211, BLOCK 1, LOT 29.22 2. TOTAL AREA OF SUBJECT PARCEL: ± 33.87 ACRES.
- 3. BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON A SURVEY DATED OCTOBER 10, 2018 AS PREPARED BY ENGINEERING & SURVEYING PROPERTIES, P.C.
- 4 THE TOPOGRAPHY SHOWN HERON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES, P.C. FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS.GIS.GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- 5. OWNER/APPLICANT: ROUTE 211 OWNER, LLC 266 BROADWAY, SUITE 403 BROOKLYN, NEW YORK 11211
- 6. WETLAND FLAGS AND BOUNDARIES SHOWN HERON ARE THE RESULT OF AN ACTUAL FIELD EVALUATION PERFORMED BY PETER TORGERSEN ON OCTOBER 15, 2018, AND GPS LOCATED BY ENGINEERING AND SURVEYING PROPERTIES, P.C. ON OCTOBER 18, 2018.
- 7. WETLAND DISTURBANCE AREA SHOWN WERE TAKEN FROM A MAP ENTITLED "WETLAND DELINEATION AND PROJECT PLAN" BY ENVIRONMENTAL COMPLIANCE SERVICES INC. DATED SEPTEMBER 9, 2005.
- 8. EXISTING ACOE WETLAND DISTURBANCE: ±0.086 ACRES PROPOSED ACOE WETLAND DISTURBANCE: ±0.120 ACRES TEMPORARY ACOE WETLAND DISTURBANCE: ±0.032 ACRES TOTAL ACOE WETLAND DISTURBANCE: ±0.238 ACRES
- 9. THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AND IS; THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.
- 10. THE OWNER WILL NOTIFY THE NEIGHBOR OF THE ENCROACHMENTS ON THE PROPERTY, NO ACTION WILL BE TAKEN UNLESS WRITTEN NOTICE IS PROVIDED BY THE OWNER.
- 11. FOR ALL WORK WITHIN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SEE PLANS BY CREIGHTON MANNING ENGINEERING LLC.
- 12. CONSERVATION EASEMENT TO BE GRANTED TO THE VILLAGE OF MONTGOMERY.
- 13. PRIOR TO CONSTRUCTION THE WETLAND BOUNDARIES IN THE VICINITY OF ANY PROPOSED WORK SHALL BE CLEARLY MARKED IN THE FIELD WITH ORANGE CONSTRUCTION FENCING TO AVOID UNNECESSARY DISTURBANCES.
- 14. NO OPEN STORAGE IS ALLOWED. ALL ITEMS AND MATERIALS SHALL BE STORED COMPLETELY WITHIN THE CONFINES OF THE WAREHOUSE BUILDING(S). 15. STORAGE OF TOXIC, EXPLOSIVE, FLAMMABLE OR OTHERWISE DANGEROUS AND NOXIOUS MATERIALS THAT ARE INCOMPATIBLE WITH THE PUBLIC HEALTH AND SAFETY OR THAT MAY POSE A RISK TO GROUNDWATER OR OTHER
- CONTAMINATION SHALL BE PROHIBITED. 16. TOTAL DISTURBANCE AREA: ±21.23 ACRES

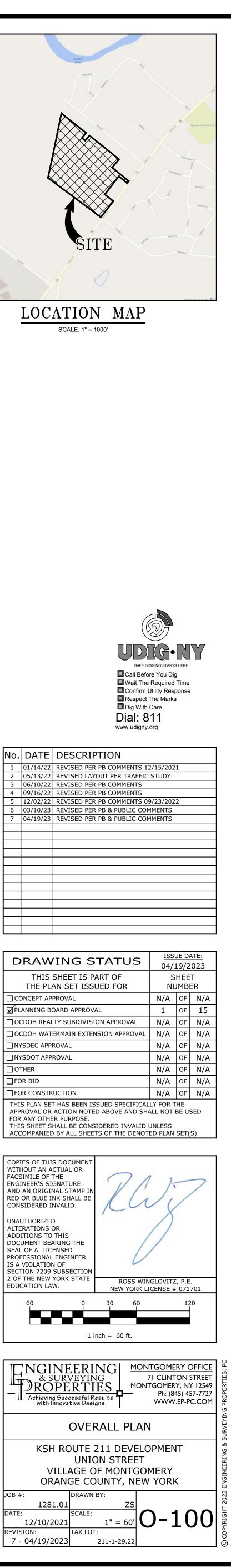
\_\_\_\_\_

\_\_\_\_\_

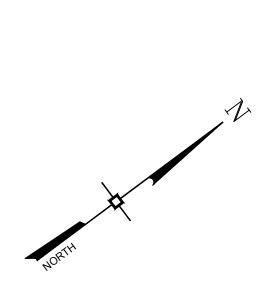
17. DUE TO THE PROXIMITY OF THE PROJECT SITE TO A KNOWN INDIANA BAT AND NORTHERN LONG-EARED BAT HIBERNACULUM, ANY TREE CUTTING OR REMOVAL SHALL OCCUR WITHIN THE APPROPRIATE TIME OF YEAR WORK WINDOW, OCTOBER 1ST THROUGH MARCH 31ST, TO AVOID DIRECT IMPACTS TO INDIVIDUALS AND THE NEED FOR AN ARTICLE 11 TAKE PERMIT.





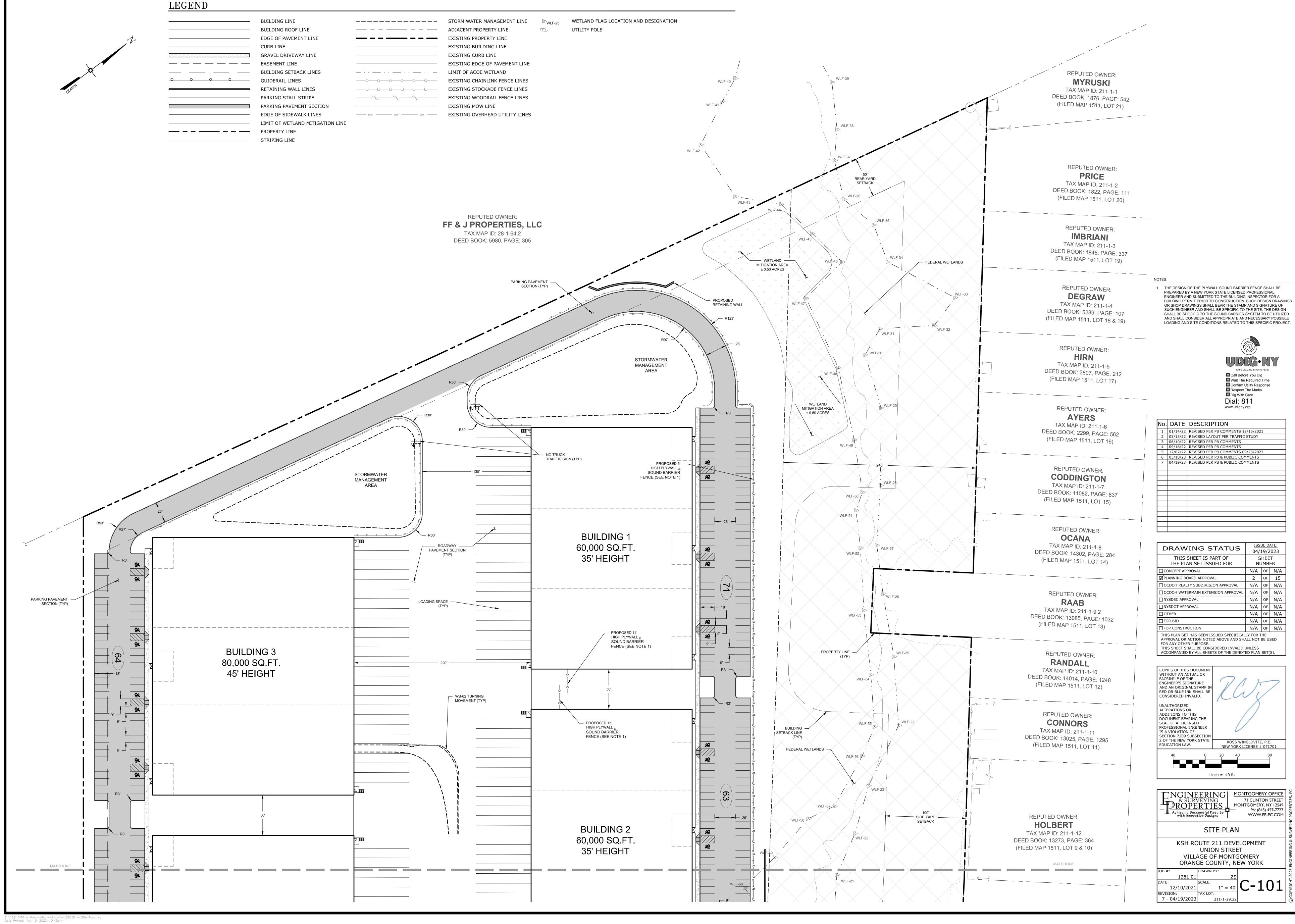


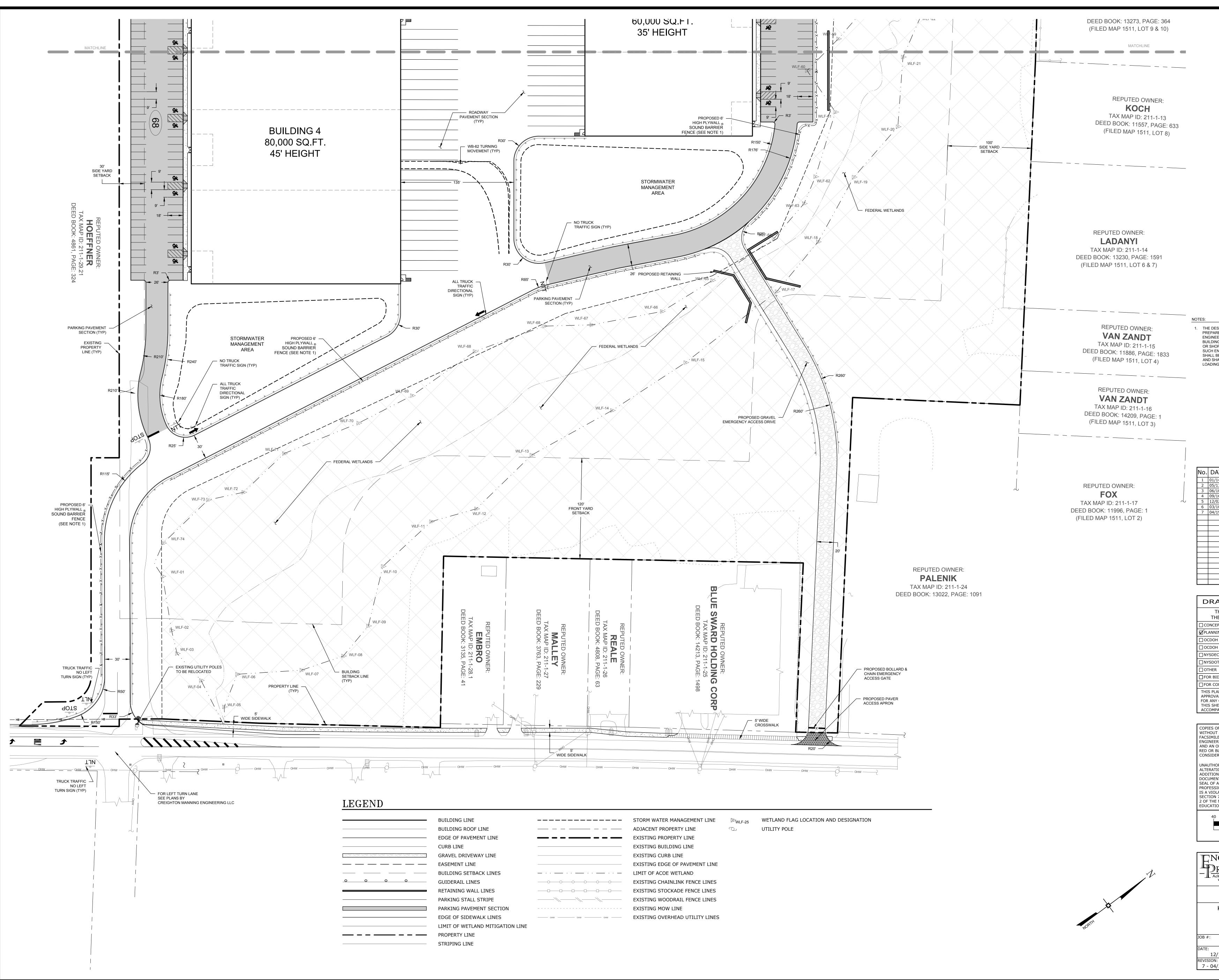
TH
<b>PLANN</b>
FOR B
FOR C
THIS PL APPROV
FOR AN
THIS SH ACCOM
COPIES



) <u>00</u> ¢	0000	0000	0000	500
0		0	0	

BUILDING LINE	
BUILDING ROOF LINE	
EDGE OF PAVEMENT LINE	
CURB LINE	
GRAVEL DRIVEWAY LINE	
EASEMENT LINE	
BUILDING SETBACK LINES	<u> </u>
GUIDERAIL LINES	(
RETAINING WALL LINES	[
PARKING STALL STRIPE	
PARKING PAVEMENT SECTION	
EDGE OF SIDEWALK LINES	
LIMIT OF WETLAND MITIGATION LINE	
PROPERTY LINE	
STRIPING LINE	



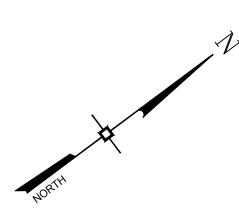


STORM WATER MANAGEMENT LINE	WLF-25	WETLAN
ADJACENT PROPERTY LINE	J.	UTILITY
EXISTING PROPERTY LINE		
EXISTING BUILDING LINE		
EXISTING CURB LINE		
EXISTING EDGE OF PAVEMENT LINE		
LIMIT OF ACOE WETLAND		
EXISTING CHAINLINK FENCE LINES		
EXISTING STOCKADE FENCE LINES		
EXISTING WOODRAIL FENCE LINES		
EXISTING MOW LINE		
EXISTING OVERHEAD UTILITY LINES		

REVISION

ESIGN OF THE PLYWALL SOUND BARRIER FENCE SHALL BE RED BY A NEW YORK STATE LICENSED PROFESSIONAL EER AND SUBMITTED TO THE BUILDING INSPECTOR FOR A NG PERMIT PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWING OP DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF ENGINEER AND SHALL BE SPECIFIC TO THE SITE. THE DESIGN BE SPECIFIC TO THE SOUND BARRIER SYSTEM TO BE UTILIZED HALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE NG AND SITE CONDITIONS RELATED TO THIS SPECIFIC PROJEC	) Ξ
ATE       DESCRIPTION         14/22       REVISED PER PB COMMENTS 12/15/2021         13/22       REVISED PER PB COMMENTS 12/15/2021         14/22       REVISED PER PB COMMENTS 12/15/2021         13/22       REVISED PER PB COMMENTS 12/15/2021         16/22       REVISED PER PB COMMENTS         16/23       REVISED PER PB COMMENTS         17/23       REVISED PER PB COMMENTS         19/23       REVISED PER PB & PUBLIC COMMENTS         19/23       REVISED PER PB & PUBLIC COMMENTS	
AWING STATUS       ISSUE DATE: 04/19/2023         THIS SHEET IS PART OF HE PLAN SET ISSUED FOR       SHEET NUMBER         EPT APPROVAL       N/A       OF       N/A         NING BOARD APPROVAL       3       OF       15         OH REALTY SUBDIVISION APPROVAL       N/A       OF       N/A         OH WATERMAIN EXTENSION APPROVAL       N/A       OF       N/A	
EC APPROVAL       N/A       OF       N/A         OT APPROVAL       N/A       OF       N/A         R       N/A       OF       N/A         BID       N/A       OF       N/A         SID       N/A       OF       N/A         CONSTRUCTION       NOTED ABOVE AND SHALL NOT BE USED       YOTHER PURPOSE.         HEET SHALL BE CONSIDERED INVALID UNLESS       PANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).         OF THIS DOCUMENT       IT AN ACTUAL OR       STAMP IN         ILE OF THE       ER'S SIGNATURE       ORIGINAL STAMP IN         BLUE INK SHALL BE       ERED INVALID.       DUMUALID.	
ORIZED         TIONS OR         DNS TO THIS         ENT BEARING THE         A LICENSED         SIONAL ENGINEER         DATION OF         N 7209 SUBSECTION         E NEW YORK STATE         ION LAW.         0       0         20       40         80         1         1         Inch = 40 ft.	TIES, PC
NONTGOMERY, NY 12549         Achieving Successful Results         With Innovative Designs         SITE PLAN         SITE PLAN         KSH ROUTE 211 DEVELOPMENT UNION STREET         VILLAGE OF MONTGOMERY ORANGE COUNTY, NEW YORK         1281.01       ZS SCALE:         2/10/2021       1" = 40'         N:       TAX LOT:         4/19/2023       211-1-29.22	© COPYRIGHT 2023 ENGINEERING & SURVEYING PROPERTI

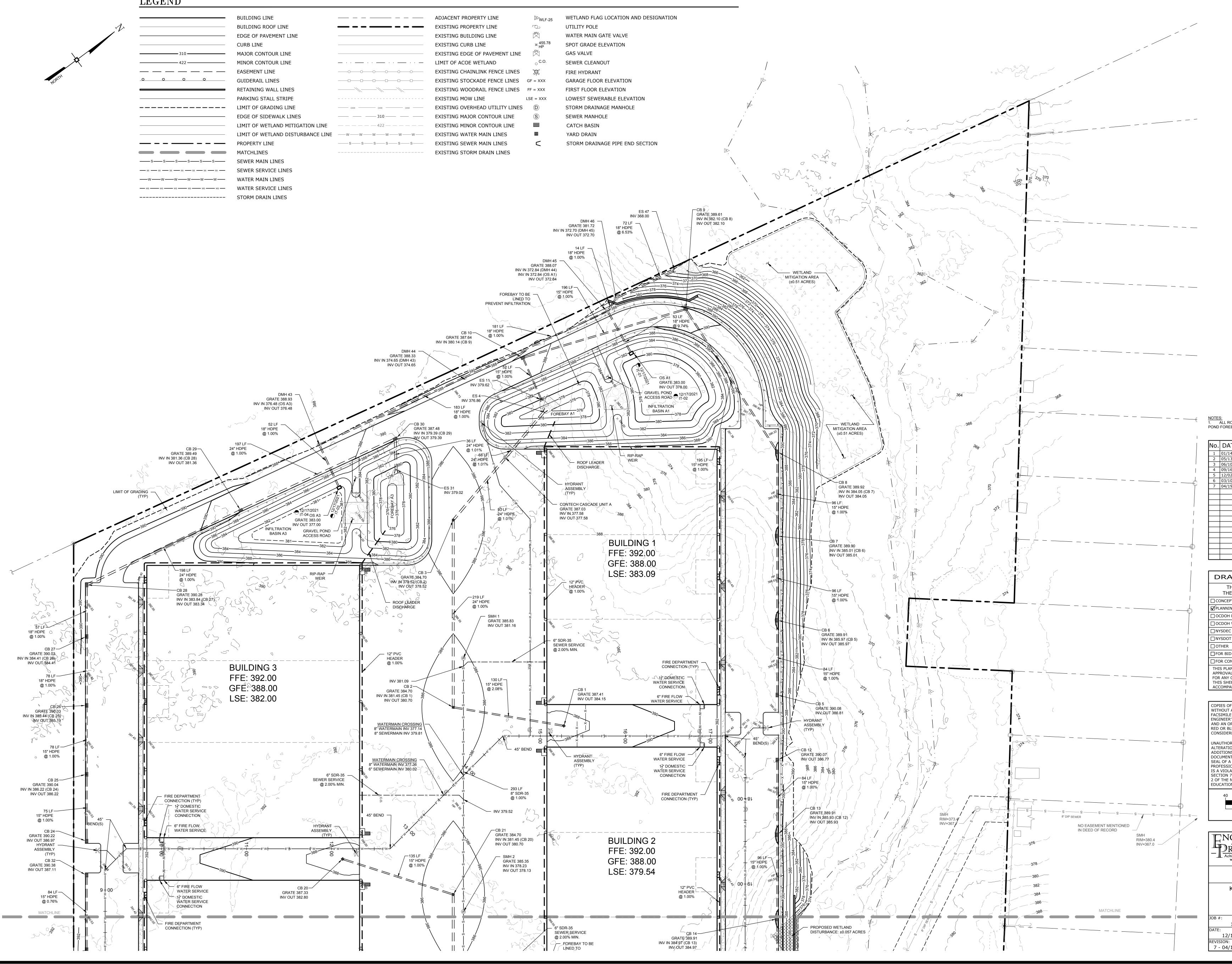
#### LEGEND



		<b>—</b> 310 <b>—</b>		
		<u> </u>		
0	0	0	0	

SSSS
<u> </u>
wwwww
ws ws ws ws ws

BUILDING LINE	
BUILDING ROOF LINE	
EDGE OF PAVEMENT LINE	
CURB LINE	
MAJOR CONTOUR LINE	
MINOR CONTOUR LINE	_ · · · ·
EASEMENT LINE	
GUIDERAIL LINES	
RETAINING WALL LINES	
PARKING STALL STRIPE	
LIMIT OF GRADING LINE	OHW
EDGE OF SIDEWALK LINES	
LIMIT OF WETLAND MITIGATION LINE	
LIMIT OF WETLAND DISTURBANCE LINE	WWW
PROPERTY LINE	SS
MATCHLINES	
SEWER MAIN LINES	
SEWER SERVICE LINES	
WATER MAIN LINES	
WATER SERVICE LINES	



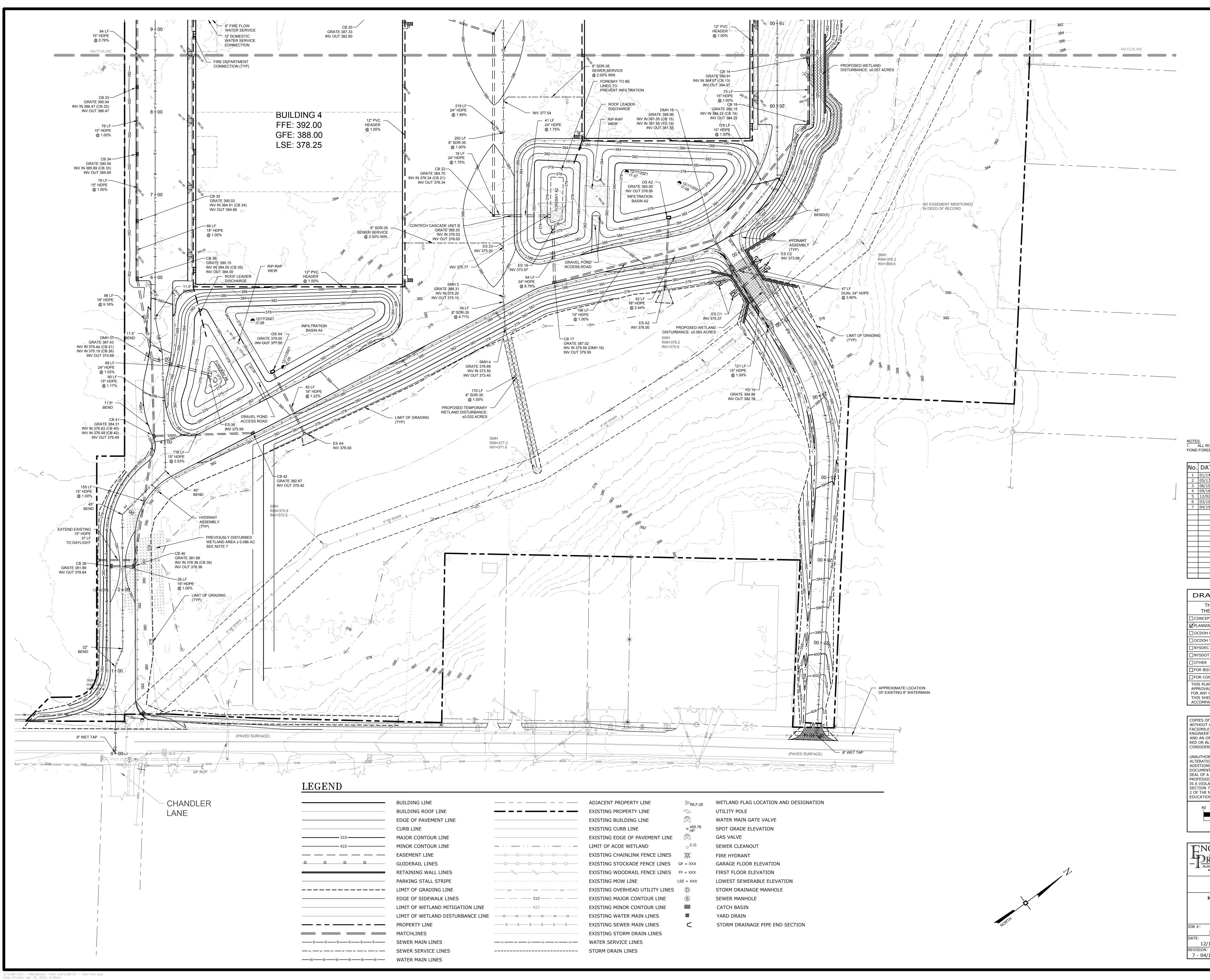
Z:∖1281.0101 — Mendlowitz —KSH site∖1281.01 — Site Plan.dwg Date Printed: Apr 19, 2023, 9:05am



1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS ASH SHOWN ON THE PLANS.

ATE	DESCRIPTION
14/22	REVISED PER PB COMMENTS 12/15/2021
13/22	REVISED LAYOUT PER TRAFFIC STUDY
10/22	REVISED PER PB COMMENTS
16/22	REVISED PER PB COMMENTS
02/22	REVISED PER PB COMMENTS 09/23/2022
-	REVISED PER PB & PUBLIC COMMENTS
19/23	REVISED PER PB & PUBLIC COMMENTS

1		
	-	N/A
		15
		N/A
		N/A
		N/A
		SED
		525
	SFT(	S)
	311	3).
0		
2-	-	7
		/
11	/	
X		
//		
/		
/		
/		
IGLOVITZ	, P.E	
NGLOVITZ ICENSE #		
		701
	071	701
	071	701
	071	701
	071	701
	071	701
	8	701
TGOME 71 CLINT	8 8 RY ( ON 1	701 0 DFFICE STREET
TGOME 71 CLINT TGOMER	8 8 RY ( ON S Y, N	701 0 DFFICE STREET Y 12549
TGOME 71 CLINT TGOMER Ph: (84	<u>8</u> 8 <u>8</u> 8 8 8 8 8 9 0 7 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84	<u>8</u> 8 <u>8</u> 8 8 8 8 8 9 0 7 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	701 0 DFFICE STREET Y 12549
ICENSE # TGOME 71 CLINT TGOMER Ph: (84 WWW	<u>RY (</u> 071 8 <u>RY (</u> 0N 15) 4 5) 4 5) 4	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84	<u>RY (</u> 071 8 <u>RY (</u> 0N 15) 4 5) 4 5) 4	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
ICENSE # TGOME 71 CLINT TGOMER Ph: (84 WWW	<u>RY (</u> 071 8 <u>RY (</u> 0N 15) 4 5) 4 5) 4	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
ICENSE # TGOME 71 CLINT TGOMER Ph: (84 WWW	8 8 8 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84 WWW GE &	8 8 8 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84 WWW GE &	8 8 8 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84 WWW GE & OPMEN MERY	8 RY ( ON 3 Y, N 4 EP-P	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84 WWW GE &	8 RY ( ON 3 Y, N 4 EP-P	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT TGOMER Ph: (84 WWW GE & OPMEN MERY	8 RY ( ON 3 Y, N 4 EP-P	701 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
TGOME 71 CLINT 71 CLINT 71 CLINT 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 7	RY ( ON 1 Y, N 4 EP-P	701 0 DFFICE STREET Y 12549 57-7727 C.COM
TGOME 71 CLINT 71 CLINT 71 CLINT 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 7	RY ( ON 1 Y, N 4 EP-P	701 0 DFFICE STREET Y 12549 57-7727 C.COM
TGOME 71 CLINT TGOMER Ph: (84 WWW GE & OPMEN MERY	RY ( ON 1 Y, N 4 EP-P	701 0 DFFICE STREET Y 12549 57-7727 C.COM
TGOME 71 CLINT 71 CLINT 71 CLINT 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 7	RY ( ON 1 Y, N 4 EP-P	701 0 DFFICE STREET Y 12549 57-7727 C.COM
TGOME 71 CLINT 71 CLINT 71 CLINT 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 70 MER 71 CLINT 71 CLINT 7	RY ( ON 1 Y, N 4 EP-P	701 0 DFFICE STREET Y 12549 57-7727 C.COM
	04/1 S NL N/A 4 N/A N/A N/A N/A N/A N/A N/A LLY FOR T ALL NOT I	4OFN/AOFN/AOFN/AOFN/AOFN/AOFN/AOFN/AOFLY FOR THEALL NOT BE US



_	BUILDING LINE		ADJACENT PROPERTY LINE	WLF-25	WETLAND FLAG LOCATION AND DE
	BUILDING ROOF LINE	<b>— — —</b>	EXISTING PROPERTY LINE	J.	UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE	Ŵ	WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE	<sup>⋈</sup> 455.78 HP	SPOT GRADE ELEVATION
_	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE	GV	GAS VALVE
_	MINOR CONTOUR LINE	_ · · · · · · · · ·	LIMIT OF ACOE WETLAND	<sub>O</sub> C.O.	SEWER CLEANOUT
	EASEMENT LINE	OOOOOO	EXISTING CHAINLINK FENCE LINES	$\sum_{i=1}^{n}$	FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES	GF = XXX	GARAGE FLOOR ELEVATION
	RETAINING WALL LINES	//	EXISTING WOODRAIL FENCE LINES	FF = XXX	FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE	LSE = XXX	LOWEST SEWERABLE ELEVATION
-	LIMIT OF GRADING LINE	онw онw	EXISTING OVERHEAD UTILITY LINES	D	STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES	310	EXISTING MAJOR CONTOUR LINE	S	SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE	422	EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE	WWWWW	EXISTING WATER MAIN LINES		YARD DRAIN
_	PROPERTY LINE	SSSS	EXISTING SEWER MAIN LINES	$\leq$	STORM DRAINAGE PIPE END SECTI
	MATCHLINES		EXISTING STORM DRAIN LINES		
_	SEWER MAIN LINES	ws ws ws ws	WATER SERVICE LINES		
	SEWER SERVICE LINES		STORM DRAIN LINES		
	WATED MAIN LINES				

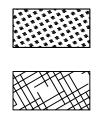


1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS ASH SHOWN ON THE PLANS.

ATE	DESCRIPTION
14/22	REVISED PER PB COMMENTS 12/15/2021
13/22	REVISED LAYOUT PER TRAFFIC STUDY
10/22	REVISED PER PB COMMENTS
16/22	REVISED PER PB COMMENTS
02/22	REVISED PER PB COMMENTS 09/23/2022
10/23	REVISED PER PB & PUBLIC COMMENTS
19/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS		JE DA				
THIS SHEET IS PART OF		19/2 HEE				
THE PLAN SET ISSUED FOR		JMBE				
CONCEPT APPROVAL	N/A	OF	N/A			
LANNING BOARD APPROVAL	5	OF	15			
OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A			
OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A			
YSDEC APPROVAL	N/A	OF	N/A			
YSDOT APPROVAL	N/A	OF	N/A			
THER	N/A	OF	N/A			
OR BID	N/A	OF	N/A			
OR CONSTRUCTION	N/A	OF	N/A			
IS PLAN SET HAS BEEN ISSUED SPECIFICAL PROVAL OR ACTION NOTED ABOVE AND SHA R ANY OTHER PURPOSE. IS SHEET SHALL BE CONSIDERED INVALID U COMPANIED BY ALL SHEETS OF THE DENOTI	JNLESS	BE US				
IES OF THIS DOCUMENT HOUT AN ACTUAL OR SIMILE OF THE DINEER'S SIGNATURE O AN ORIGINAL STAMP IN OR BLUE INK SHALL BE ISIDERED INVALID. UTHORIZED ERATIONS OR DITIONS TO THIS CUMENT BEARING THE L OF A LICENSED FESSIONAL ENGINEER VIOLATION OF TION 7209 SUBSECTION THE NEW YORK STATE CATION LAW.						
		80	D			
1 inch = 40 ft.						
Achieving Successful Results with Innovative Designs GRADING, DRAINA	www	'ON S Y, NY 45) 45 .EP-P	STREET			
UTILITY PLAN						
KSH ROUTE 211 DEVELO UNION STREET VILLAGE OF MONTGON ORANGE COUNTY, NEW	MERY					
#: DRAWN BY: 1281.01 ZS E: SCALE: 12/10/2021 1" = 40' SION: TAX LOT: - 04/19/2023 211-1-29.22	2-1		)4			

#### RETENTION/DETENTION POND PLANTINGS:



# DRAW DOWN ZONE/ EMERGENT AREA: NORTHEAST WETLAND NATIVE WILDFLOWER MIX

<u>PERMANENT GRASS MIX</u>

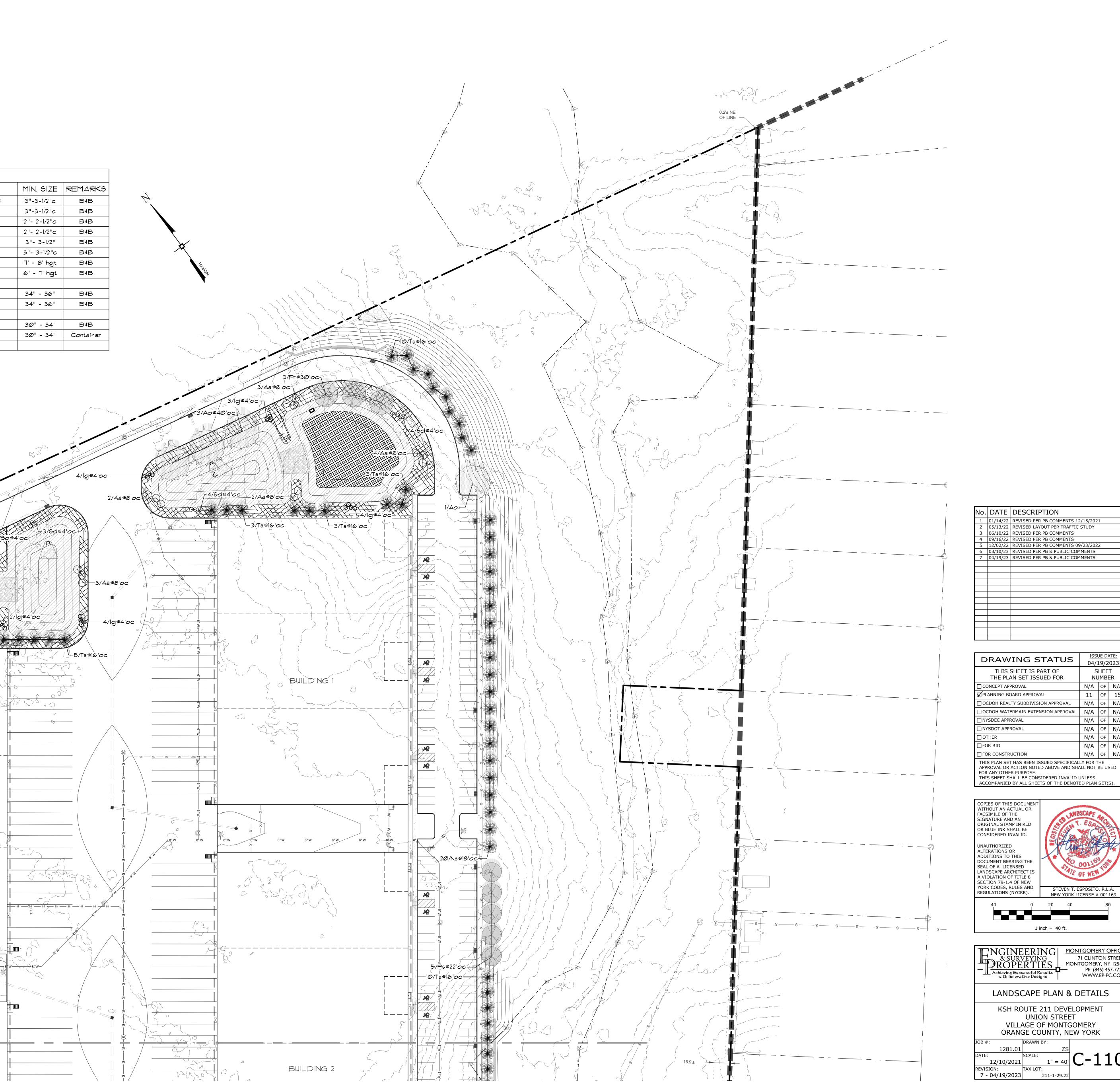
NORTHEAST WETLAND GRASS SEED MIX

				PLANTS LIST		
STMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN
	DECIDUOUS	Ao	15	Acer Rubrum "October Glory"	October Glory Red Maple	3"
	TREES	Lp	5	Platanus x Acerifolia	London Planetree	3"-:
		Pr	11	Prunus Subhirtella "Autumnalis"	Higan Cherry	2"-
		Ps	18	Prunus Serrulata "Kwanzan"	Kwanzan Cherry	2"-
		Qp	24	Quercus Palustrís	Pin Oak	3"-
		Tc	6	Tilia Cordata "Greenspire"	Greenspire Linden	3"-
	EVERGREEN	Ns	34	Picea Abies	Norway Spruce	- 'ד
		Ťs	54	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6' -
* 0		Ig	34	llex Gabra	Inkberry Holly	34"
	EVERGREEN Shrubs	√r	55	Viburrium Rhytidophyllum	Leather Leaf Viburnum	34"
		Aa	29	Amelanchier Canadensis	Shadblow Serviceberry	30"
$\odot \odot \odot \odot$	SHRUBS	Sd	22	Cornus Amomum	Silky Dogwood	3Ø'

PERMANENT SEEDING SCHEDULE

- I. ITOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- 2. TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- 3. FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- 4. SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
  60% KENTUCKY BLUE GRASS

<u>PLANT</u>	ING SCHEDULE	• •		Ċ,
TREES & SHRUBS Evergreen	SPRING PLANTING APRIL 1 - JUNE 30	FALL PLANTING SEPT. 1 - OCT. 15		
	MARCH 1 - JUNE 30			005
			3/Pr@2	2'oc
		م 4/Ao@4@'oc		
			4/lg@4'oc-	
			4/lg@4'oc	-3/Ts@l6'oc
3/Ts@1				
			-3/Aa@8'oc -3/Ts@16'oc	
				3/Aa@8'oc┘ ?{`
$\langle \rangle$	3/Vr@8'0	c <b>9</b>		5~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
		98	s ( 3 ( 2 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	
	2/Qp@40	oc		
° )				$\bigtriangledown$
ر ۲/Ts@16'a				
			00	
			0 22-5	
	4/Qp@4@			
			BUILDING 3	
T'		<u>9</u>		(
		<u>9</u>		1-1005/14
0			•	
-				~
		<b>9</b>		$\int$
	4/Vr@8'00			~V.A
-			(52,75)	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
6/Ts@16'				
			8"W 8"W 8"W 8"W 8"W 8"W 8"W 8"W	W 8" W 8" W
MATCHLINE			v	
	3/yr@8'00		BUILDING 4	



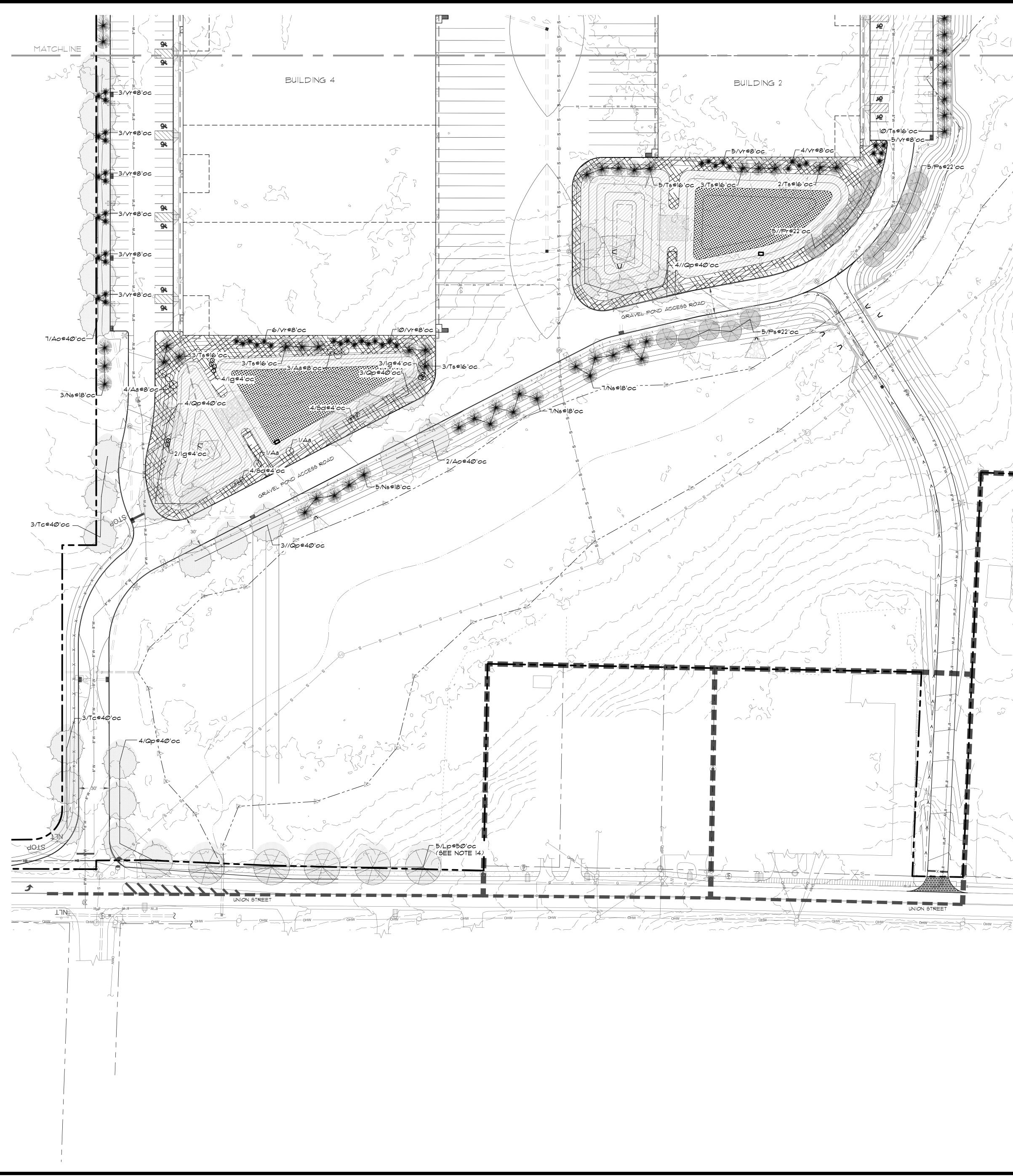
ULATIONS (NYCRR).	NEW	YORK LICE	NSE # 001169	
40	0 20	40 	80	
	1 inch = 40	ft.		
NGINEE & SURVE PROPER Achieving Success with Innovative	TIES	71 C MONTGC	OMERY OFF CLINTON STR DMERY, NY 12 Ph: (845) 457-7 WW.EP-PC.C	EET SEILIES 2549 ZIELIES 2727 dC
LANDSCA	PE PLAN	N & DE	TAILS	SURVEYIN
VILLAG	TE 211 DI INION STI E OF MOI COUNTY	REET NTGOME	RY	ENGINEERING & 9
1281.01 12/10/2021 SION: TAX	X LOT:		-11	COPYRIGHT 2022
- 04/19/2023	211-1-29	9.22		©

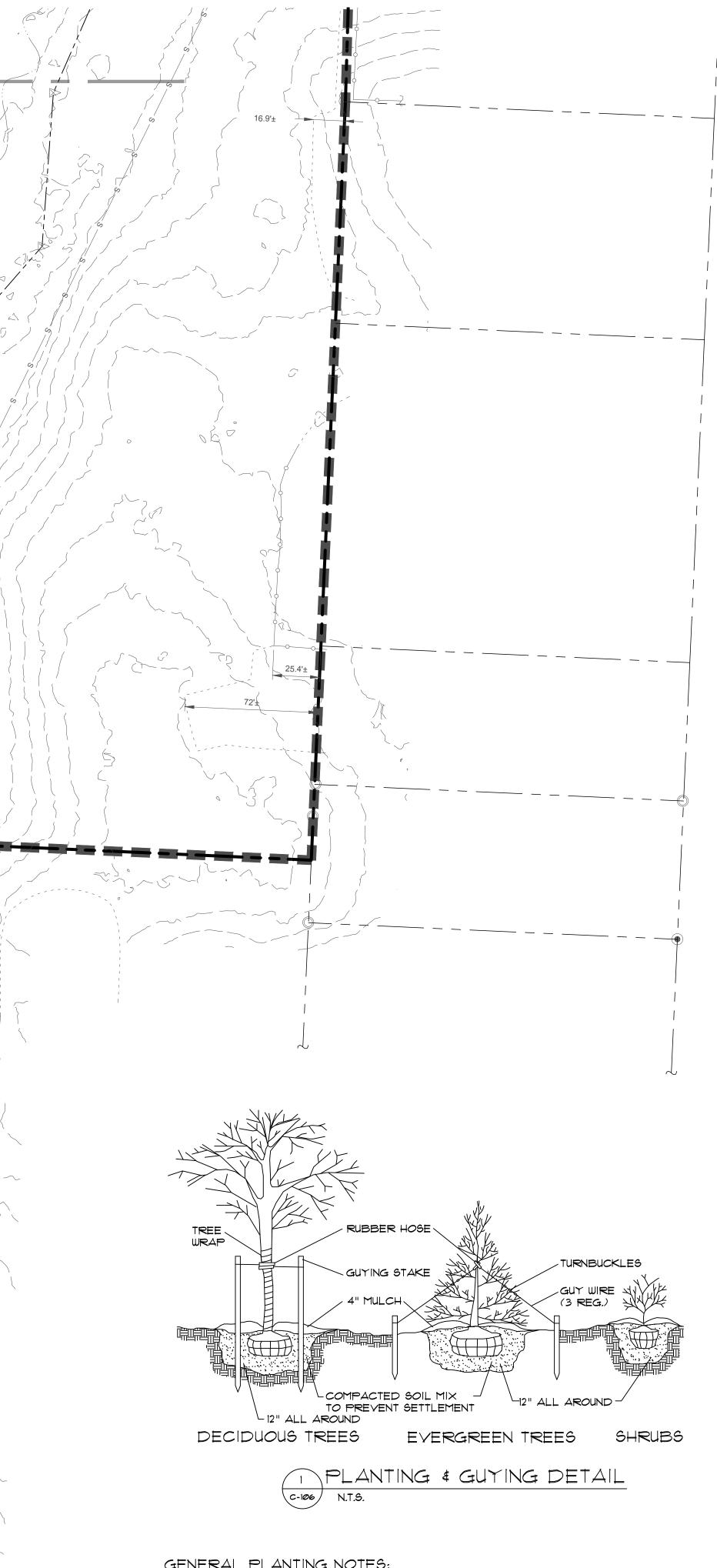
IES OF THIS DOCUMENT HOUT AN ACTUAL OR SIMILE OF THE NATURE AND AN GINAL STAMP IN RED BLUE INK SHALL BE SIDERED INVALID.	AND LANDSCAPE APG
UTHORIZED ERATIONS OR ITIONS TO THIS UMENT BEARING THE OF A LICENSED DSCAPE ARCHITECT IS OLATION OF TITLE 8 ITON 79-1.4 OF NEW	STATE OF NEW YORK
K CODES, RULES AND ULATIONS (NYCRR).	STEVEN T. ESPOSITO, R.L.A. NEW YORK LICENSE # 001169
	20 40 80

DRAWING STATUS	ISS	UE D	ATE:	
RAVING STATUS	04/3	19/2	2023	
THIS SHEET IS PART OF	S	HEE	Т	
THE PLAN SET ISSUED FOR	NU	NUMBER		
CONCEPT APPROVAL	N/A	OF	N/A	
LANNING BOARD APPROVAL	11	OF	15	
CDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A	
CDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A	
YSDEC APPROVAL	N/A	OF	N/A	
YSDOT APPROVAL	N/A	OF	N/A	
THER	N/A	OF	N/A	
OR BID	N/A	OF	N/A	

N/A OF N/A

•	DATE	DESCRIPTION
	01/14/22	REVISED PER PB COMMENTS 12/15/2021
	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
	06/10/22	REVISED PER PB COMMENTS
	09/16/22	REVISED PER PB COMMENTS
	12/02/22	REVISED PER PB COMMENTS 09/23/2022
	03/10/23	REVISED PER PB & PUBLIC COMMENTS
	04/19/23	REVISED PER PB & PUBLIC COMMENTS
_		
-1		





GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 2. EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- 3. NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- 4. ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- 5. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED. 6. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (1) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- 8. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOUN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- 9. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. 10. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- 11. ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4". 12. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE
- LANDSCAPE ARCHITECT. 13. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- 14. PLANT UP TO FIVE (5) LONDON PLANETREE ALONG UNION AVE ROW TO SUPPLEMENT EXISTING VEGETATION. LOCATIONS TO BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT AND VILLAGE ENGINEER IN THE FIELD.

40		20 4	0	80	
	1 inch	= 40 ft.			
					_
Achieving Suco	VEYING		71 CLIN ONTGOME Ph: (8	ERY OFFICE TON STREET RY, NY 12549 845) 457-7727 V.EP-PC.COM	IG PROPERTIES, PC
LANDS	CAPE P	LAN 8	k DETA	ILS	SURVEYIN
VILL	UTE 21 UNION AGE OF GE COU	STREE MONTO	ET GOMERY	,	ENGINEERING & 5
#: 1281.01 :: 12/10/2021 SION: - 04/19/2023	TAX LOT:	ZS 1" = 40' 1-1-29.22	<b>C-</b> :	111	COPYRIGHT 2022 ENGINEERING & SURVEYING PROPERTIES, PC
07/19/2023	21	1-1-29.22			] ()

40 0 20 40 80	COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE SIGNATURE AND AN ORIGINAL STAMP IN RED OR BLUE INK SHALL BE CONSIDERED INVALID. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED LANDSCAPE ARCHITECT IS A VIOLATION OF TITLE 8 SECTION 79-1.4 OF NEW YORK CODES, RULES AND REGULATIONS (NYCRR).	STEVEN T. ESPOSITO, R.L.A. NEW YORK LICENSE # 001169
	40 0	20 40 80

RAWING STATUS	ISSU	JE D	ATE:	
CAVING STATUS	04/1	19/2	023	
THIS SHEET IS PART OF	S	SHEET		
THE PLAN SET ISSUED FOR	NUMBER			
ONCEPT APPROVAL	N/A	OF	N/A	
LANNING BOARD APPROVAL	12	OF	15	
CDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A	
CDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A	
YSDEC APPROVAL	N/A	OF	N/A	
YSDOT APPROVAL	N/A	OF	N/A	
THER	N/A	OF	N/A	

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE

THIS SHEET SHALL BE CONSIDERED INVALID UNLESS

APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED

ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

N/A OF N/A

N/A OF N/A

FOR BID

FOR CONSTRUCTION

FOR ANY OTHER PURPOSE.

•	DATE	DESCRIPTION
	01/14/22	REVISED PER PB COMMENTS 12/15/2021
	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
	06/10/22	REVISED PER PB COMMENTS
	09/16/22	REVISED PER PB COMMENTS
	12/02/22	REVISED PER PB COMMENTS 09/23/2022
	03/10/23	REVISED PER PB & PUBLIC COMMENTS
	04/19/23	REVISED PER PB & PUBLIC COMMENTS